

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFAU), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE REFERRED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- 1. EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNT ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNERS REPRESENTATIVE AND/OR ENGINEER IMMEDIATELY.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION FORMALGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC.
5. ALL MATERIAL CLEANED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 832-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE MAINTENANCE OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
11. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
12. EXISTING FIRE HYDRANTS ARE TO REMAIN IN SERVICE.
13. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

TRAFFIC NOTES:

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY (EOR DRIVEWAYS) ARE TO BE THERMOPLASTIC & MEET NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A NCDOT STREET REQUIRES AN ENCROACHMENT PERMIT. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
7. A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET-YARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGHT DISTANCES.
8. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IDENTIFIED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES/ES, ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 15 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE SYSTEM, THE CONTRACTOR SHALL INSTALL OUTLET PROTECTION AS SHOWN ON THE PLANS AND DETAILS.
7. THE CONTRACTOR SHALL CONVERT THE SEDIMENT BASIN TO THE WET DETENTION POND ONCE THE ENTIRE DRAINAGE BASIN IS FULLY STABILIZED. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT FROM THE POND AND ESTABLISH THE FINAL POND BOTTOM ELEVATION ONCE ALL CONSTRUCTION IS FINISHED WITHIN THE POND DRAINAGE AREA THE CONTRACTOR SHALL REMOVE THE SKIMMER TO COMPLETE THE WET POND CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
9. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL.
10. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
11. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE EROSION OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL MAIL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES TO NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING Dewatering OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTFLET.

GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):

- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC LOGS AND DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDD AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (1/4) INCH OR GREATER RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.

PERMANENT SEEDING SCHEDULE - MIXTURE SCP

Table with 3 columns: Seeding Mixture, SPECIES, RATE (LB/ACRE). Includes Centipede Grass at 10-20.

Table with 3 columns: Seeding Dates, SPECIES, RATE (LB/ACRE). Includes March - June.

Table with 3 columns: Soil Amendments, SPECIES, RATE (LB/ACRE). Includes Apply Lime and Fertilizer.

Table with 3 columns: Mulch, SPECIES, RATE (LB/ACRE). Includes Do Not Mulch.

Table with 3 columns: Maintenance, SPECIES, RATE (LB/ACRE). Includes Fertilize very sparingly.

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

Table with 3 columns: Seeding Mixture, SPECIES, RATE (LB/ACRE). Includes Winter and Early Spring.

Table with 3 columns: Seeding Dates, SPECIES, RATE (LB/ACRE). Includes Dec 1-April 15, April 15-Aug 15, Aug 15-Dec 30.

Table with 3 columns: Soil amendments, SPECIES, RATE (LB/ACRE). Includes Follow recommendations of soil tests.

Table with 3 columns: Mulch, SPECIES, RATE (LB/ACRE). Includes Apply 1,000 LB/acre straw.

Table with 3 columns: Maintenance, SPECIES, RATE (LB/ACRE). Includes Refertilize if growth is not fully adequate.

SITE NOTES :

- 1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
3. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
4. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
5. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
6. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
7. ALL UTILITIES TO SERVICE PROPOSED STRUCTURE SHALL BE UNDERGROUND ON SITE.
8. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
9. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW, NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CPFAU, RESPECTIVELY.
11. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.
12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
13. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
14. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO NCDOT. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
15. ALL PARKING LOT DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE.
16. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
17. SEEDING TO BE INSTALLED TO LAND, REQUIREMENTS & STANDARD PRACTICES.
18. ALL DIMENSIONS AND RADI ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

NC ACCESSIBILITY NOTES:

- GENERAL NOTES:
1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1), AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS.
3. THE CONTRACTOR SHALL NOTIFY OWNERS AGENT IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS.
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY.
ACCESSIBLE ROUTE NOTES:
1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, CUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY- EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED(NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE.
RAMP NOTES:
1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1), WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE THE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1), AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1), AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1) SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.
CURB RAMP NOTES:
1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES.
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESSIBLE AISLES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 408.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/2 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.
PARKING SPACE NOTES:
1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE.
3. ACCESSIBLE PARKING SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE.
4. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
5. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-21.9 AND 198-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES.
6. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY MUST BE PAINTED BLUE OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).
7. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
8. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESSIBLE AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
9. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY EIGHT (98) INCHES MINIMUM.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-21.9 AND 198-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY MUST BE PAINTED BLUE OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).
PASSENGER LOADING ZONE NOTES:
1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESSIBLE AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.
ACCESSIBLE ENTRANCE NOTES:
1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE(ANSI A117.1) AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL UTILITY NOTES

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON AND NCDOT REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-706, UNLESS INDICATED OTHERWISE ON PLANS.

STORM WATER NOTES

- 1. TOTAL SITE AREA = 654,480 SF (15.03 AC)
2. DISTURBED AREA = 609,940 SF (14.00 AC)
3. IMPERVIOUS AREA DRAINING TO STORMWATER SYSTEM = 440,000 SF (10.10 AC)

WETLAND NOTES:

- 1) NO WETLANDS EXIST ON-SITE BASED ON A SITE EVALUATION BY ECS CAROLINAS, LLP.

ROOF DRAIN NOTE:

- 1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

EXISTING UTILITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY.

LEGEND

Legend table listing symbols for wetlands, property lines, contours, iron pipe/rod found, concrete monuments, telephone pedestals, underground telephones, transformer pedestals, proposed drop inlets, storm inlets, storm drain manholes, drainage inlets, spot elevations, edge of pavement, sidewalk elevations, gutter flow lines, top of curb elevations, contours, drainage areas, silt fences, limits of disturbance, tree protection fencing, inlet protection, traffic arrows, signs, sanitary sewer service, building, and concrete curb & gutter.

NOT RELEASED FOR CONSTRUCTION

Table with 2 columns: REV#, DATE, DESCRIPTION, BY. Includes entries for 17 NOV 21, 01 DEC 21, and 15 DEC 21.

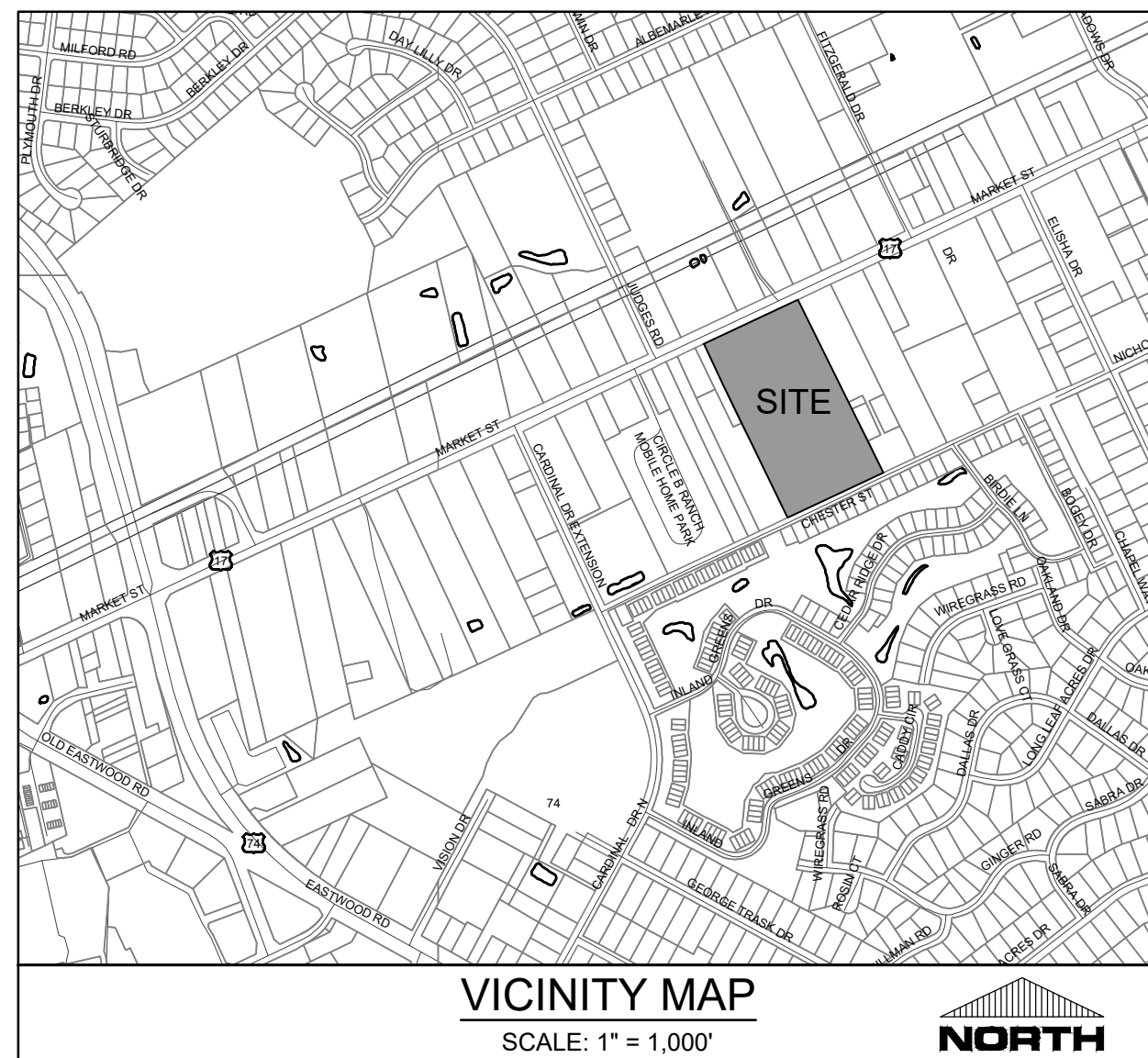
Table with 4 columns: REV#, DATE, DESCRIPTION, BY. Includes entries for 17 NOV 21, 01 DEC 21, and 15 DEC 21.

Carmax logo and address: THE AUTO SUPERSTORE, 6030 MARKET STREET, WILMINGTON, NC 28405. Includes phone number 20-21104.02 and date 01 DEC 21.

GENERAL NOTES

Table with 2 columns: Item, Description. Includes NCDENR PWSS WATER PERMIT #, WATER CAPACITY, DWO SEWER PERMIT #, SEWER CAPACITY, SEWER SHED # AND PLANT, and SEWER TO FLOW THROUGH NEI.

C-1.0



SITE DATA TABULATION

OWNER:	CARMAX OF WILMINGTON
PROJECT ADDRESS:	6030 MARKET STREET WILMINGTON, NC 28403
TAX PARCEL IDENTIFICATION #:	R05006-002-010-000 (13.83 AC) - LOT 1 R05006-002-004-001 (1.20 AC) - LOT 2
RECORDED DEED BOOK:	BK 2664, PG 331 (ESMT) - LOT 1 BK 1783, PG 1251 - LOT 1 BK 2664, PG 324 (ESMT) - LOT 2 BK 1425, PG 1328 - LOT 2
TOTAL SITE AREA:	15.038 ACRES (655,055 SF)
CURRENT ZONING:	RB - REGIONAL BUSINESS
CAMA LAND USE CLASSIFICATION:	URBAN
MAXIMUM ALLOWABLE BUILDING HEIGHT:	35'
EXISTING LAND USE:	UNDEVELOPED
PROPOSED LAND USE:	AUTOMOBILE DEALER - USED
SETBACK STANDARDS	
MINIMUM FRONT SETBACK	150.5 FT. (NORTH)
MINIMUM SIDE SETBACK	254.5 FT. (EAST)
MINIMUM SIDE SETBACK	125.7 FT. (WEST)
MINIMUM REAR SETBACK	661.5 FT. (SOUTH)
REQUIRED	25 FT.
0 FT.	0 FT.
0 FT.	0 FT.
25 FT.	25 FT.
SITE INFORMATION	
LOT AREA	655,055 SF (15.03 AC)
LOT WIDTH	602.47'
LOT COVERAGE	6.70%
43,580 SF (1 AC)	43,580 SF (1 AC)
100' MIN.	100' MIN.
40% MAX.	40% MAX.
EXISTING IMPERVIOUS AREA	
TOTAL BUILDING (PROPOSED FOOTPRINT)	41,583 SF
ON-SITE PARKING & DRIVEWAYS	384,050 SF
GRAVEL DRIVE	4,350 SF
ON-SITE SIDEWALKS	4,900 SF
FUTURE IMPERVIOUS	4,287 SF
TOTAL EX. & FUTURE IMP. AREA	434,883 SF (9.98 AC)
EXISTING PERCENT IMPERVIOUS	434,883 / 655,055 SF = 67.0%
EXISTING IMPERVIOUS TO BE REMOVED:	4,283 SF
EXISTING IMPERVIOUS TO REMAIN:	430,620 SF
PROPOSED IMPERVIOUS AREA	
TOTAL BUILDING (PROPOSED FOOTPRINT)	2,316 SF
ON-SITE PARKING & DRIVEWAYS	338 SF
ON-SITE SIDEWALKS	1,050 SF
FUTURE DEVELOPMENT	4,828 SF
TOTAL PROPOSED IMP. AREA	8,530 SF (0.20 AC)
BUILDING INFORMATION	
CONSTRUCTION TYPE:	11B
NUMBER OF PROPOSED BUILDINGS	1
PROPOSED BUILDING SF	2,316 SF
OVERALL HEIGHT	28'-0"
LOT COVERAGE	6.70% (TOTAL = EXISTING + PROPOSED)
SITE PARKING	
MINIMUM PARKING REQUIRED:	83
(1 PER 500 SF GFA)	
MAXIMUM PARKING ALLOWABLE:	125 SPACES
TOTAL PARKING PROVIDED:	125 CUSTOMER/EMPLOYEE PARKING SPACES 290 SALES DISPLAY/INVENTORY AREA SPACES
HANDICAP PARKING REQUIRED:	9 SPACES
HANDICAP PARKING PROVIDED:	9 SPACES
BICYCLE PARKING REQUIRED:	15 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES
FLOOD NOTE	
THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.	

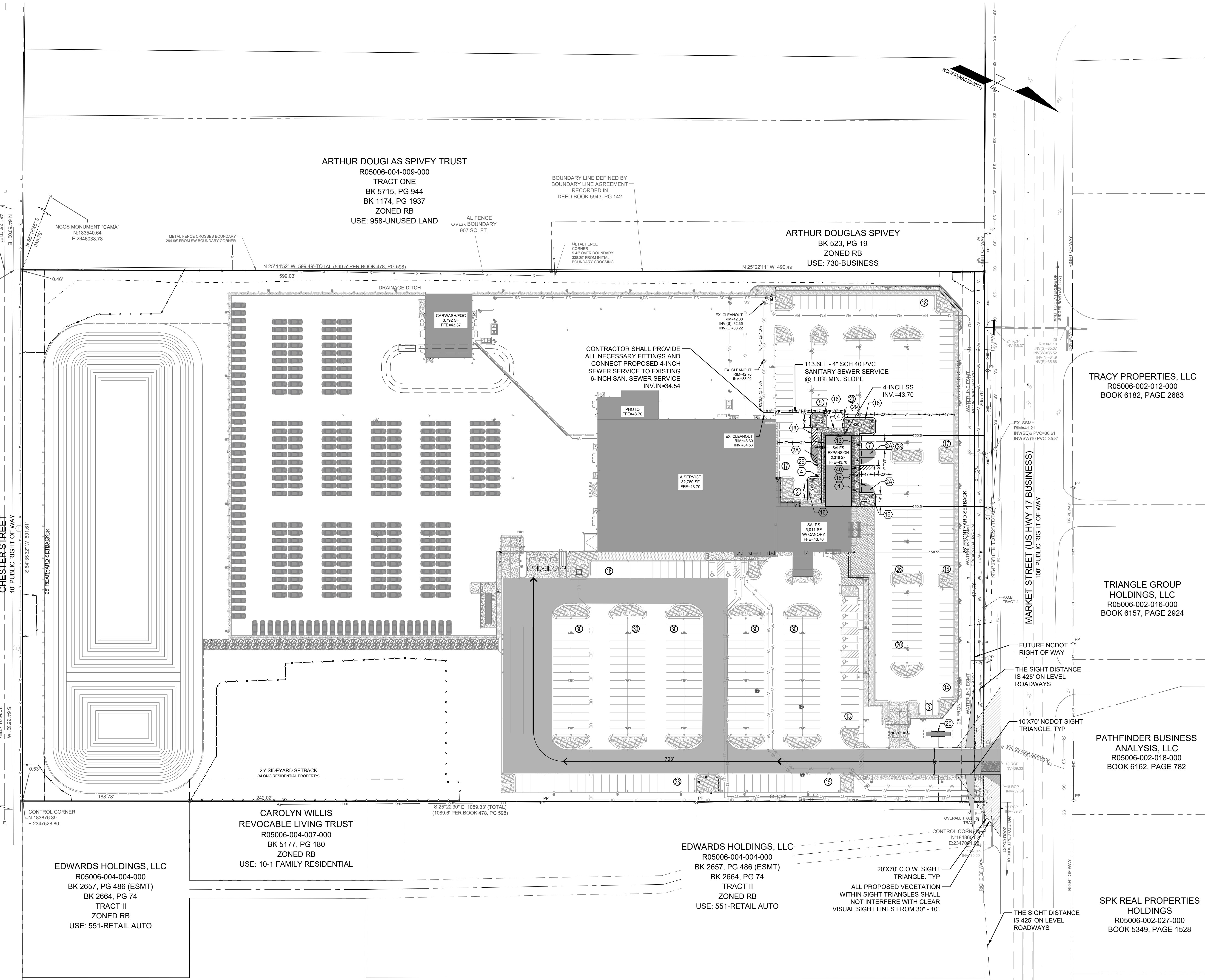
- GENERAL NOTES**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.

TRIP GENERATION - BUILDING ADDITION

THE CODE B41 - NEW CAR SALES	
DAILY TRIPS:	63
AM PEAK HOUR:	10
PM PEAK HOUR:	11

- FIRE & SAFETY NOTES:**
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - LANDSCAPE OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
 - ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

- KEY NOTES:**
- 1A LIGHT-DUTY CONCRETE PAVING: NOT USED
 - 1B HEAVY-DUTY CONCRETE PAVING: NOT USED
 - 2A LIGHT DUTY ASPHALT PAVING: REFER TO DETAIL C-5.0
 - 2B HEAVY DUTY ASPHALT PAVING: NOT USED
 - 3 MOUNTABLE CONCRETE CURB & GUTTER: NOT USED
 - 4 CONCRETE SIDEWALK: REFER TO DETAIL C-5.0
 - 5 CONCRETE DOOR LANDING: REFER TO ARCHITECTURAL DRAWINGS
 - 6 STEEL BOLLARD: REFER TO ARCHITECTURAL DRAWINGS
 - 7 HANDICAP PARKING SIGN: NOT USED
 - 8 VERTICAL CURB: NOT USED
 - 9 HANDICAP PARKING SYMBOL: NOT USED
 - 10 HANDICAP ACCESS UNLOADING ZONE: NOT USED
 - 11 MASONRY SITE WALL: NOT USED
 - 12 SCREEN WALL GATES: NOT USED
 - 13 CONCRETE BUMPER BLOCK: 8" x 5" x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-8" LONG #4 REBAR. REFER TO DETAIL C-5.0
 - 14 PARKING LOT SITE LIGHTING: REFER TO STRUCTURAL AND ELECTRICAL FOR TYP. DETAILS
 - 15 LIMITS OF NEW PAVING: IN NEW PARKING AND DRIVE AREA NOT DESIGNATED AS HEAVY DUTY
 - 16 STANDARD 24" CURB & GUTTER: REFER TO DETAIL C-5.0
 - 17 BICYCLE RACK (5 BIKE MIN. PER RACK): NOT USED
 - 18 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
 - 19 DETECTIBLE WARNING MAT: NOT USED
 - 20 EXISTING PYLON SIGN:
 - 21 CONCRETE DRIVE APRON (COMMERCIAL): NOT USED
 - 22 METAL GUARD RAIL: NOT USED
 - 23 CONCRETE FLUME: NOT USED
 - 24 SEGMENTAL RETAINING WALL: NOT USED
 - 25 DESIGNATED ACCESSIBLE ROUTE: PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.
 - 26 ORNAMENTAL FENCING: NOT USED
 - 27 DUPLIC GRINDER PUMP STATION: NOT USED
 - 28 6" CHAINLINK FENCE (BLACK) W/ VISION SLATS: NOT USED
 - 29 EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL: SEE DETAIL C-5.0
 - 30 EMERGENCY VEHICLE LANE MARKING: NOT USED
 - 31 HEADER CURB: NOT USED
 - 32 TREE PROTECTION FENCING: NOT USED
 - 33 RIVER ROCK STONE STONE: NOT USED
 - 34 PROPOSED DUMPSTERS & ENCLOSURE: NOT USED
 - 35 CONCRETE DRIVE APRON (RESIDENTIAL): NOT USED
 - 36 TRANSITION CURB DETAIL: NOT USED
 - 37 PARKING LOT SITE LIGHTING W/ SPREAD FOOTING: NO NEW POLES PROPOSED
 - 38 MAN GATE: NOT USED
 - 39 PUMP STATION CONTROL PANEL: NOT USED
 - 40 ACCESSIBLE RAMP: SEE DETAIL C-4.0



PARAMOUNT ENGINEERING INC.
122 Linema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6700 (T)
N.C. License # C-2846

100% DISTRIBUTION
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DA21-038/ PC21-021
RPB
RPB

REV#	DATE	DESCRIPTION	BY
17	NOV 21	CHECKPOINT #1	
01	DEC 21	CHECKPOINT #2	
15	DEC 21	100% DISTRIBUTION	

TRACY PROPERTIES, LLC
R05006-002-012-000
BOOK 6182, PAGE 2683

TRIANGLE GROUP HOLDINGS, LLC
R05006-002-016-000
BOOK 6157, PAGE 2924

PATHFINDER BUSINESS ANALYSIS, LLC
R05006-002-018-000
BOOK 6162, PAGE 782

SPK REAL PROPERTIES HOLDINGS
R05006-002-027-000
BOOK 5349, PAGE 1528

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

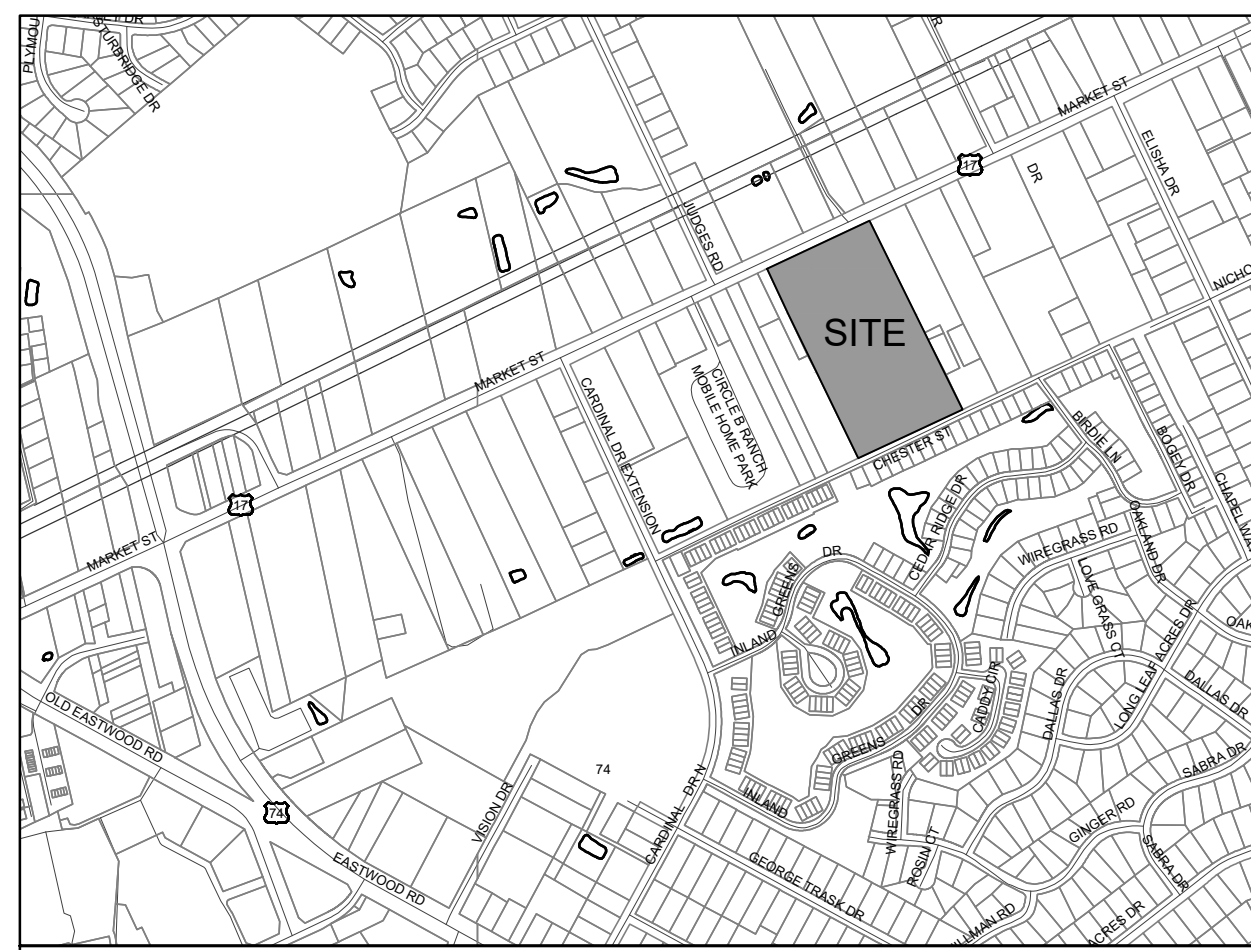
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NC DENR PWSS WATER PERMIT # _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT # _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLAN: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



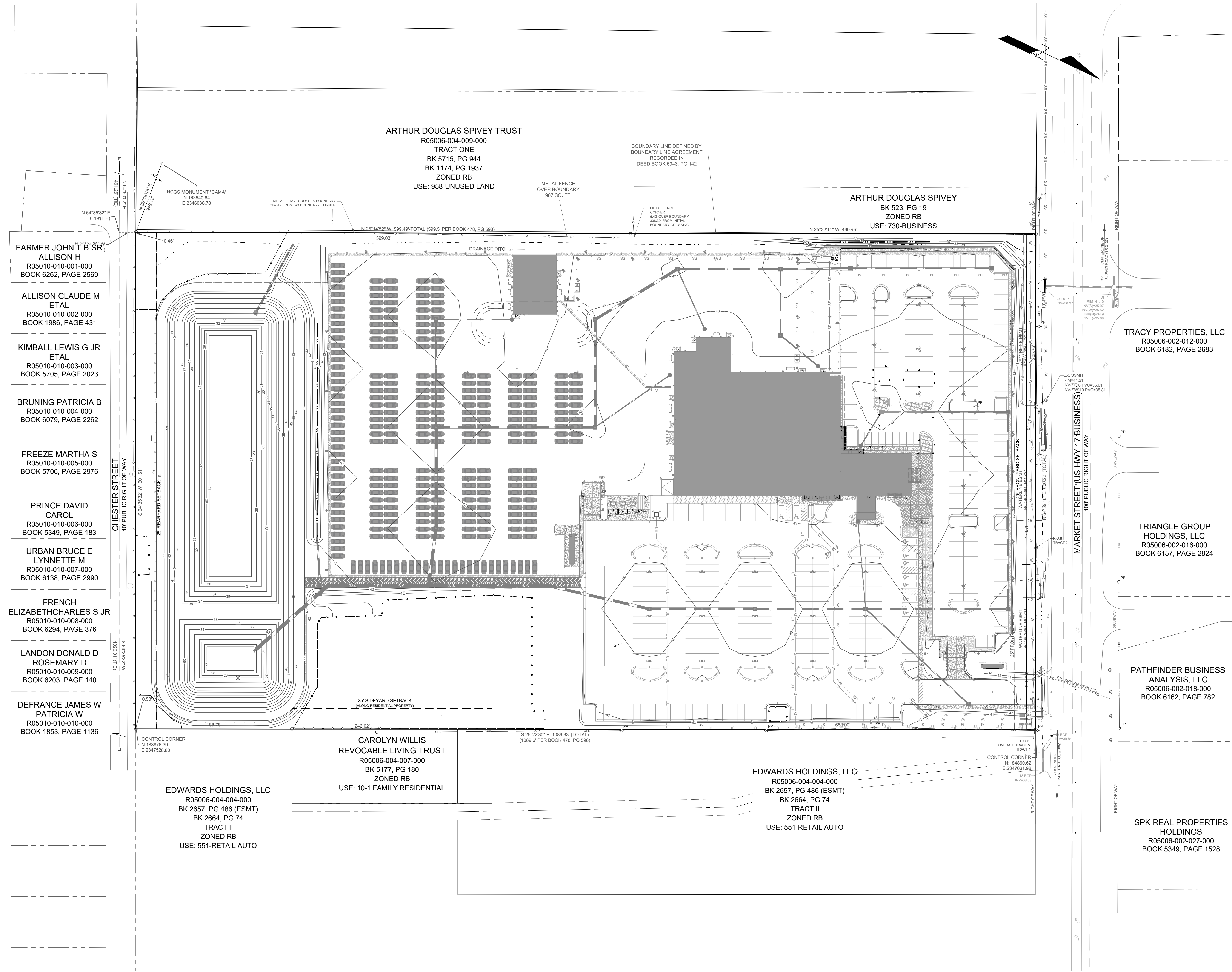
VICINITY MAP
SCALE: 1" = 1,000'



SOILS MAP
SCALE: 1" = 500'

SITE INVENTORY DATA

- PREPARER OF THE PLAN: PARAMOUNT ENGINEERING, 122 CINEMA DRIVE, WILMINGTON, NC 28403
- APPLICANT NAME: CARMAX AUTO SUPERSTORES, INC., 12800 TUCKAHOE CREEK PARKWAY, RICHMOND, VA 23238
- SITE ADDRESS: 6030 MARKET STREET, WILMINGTON, NC 28403
- PROPERTY OWNER: CARMAX AUTO SUPERSTORES, INC., 12800 TUCKAHOE CREEK PARKWAY, RICHMOND, VA 23238
- DEVELOPER: SAME AS APPLICANT
- PROPERTY BOUNDARY: SEE PLAN
- ZONING: RB - REGIONAL BUSINESS
- ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
- VICINITY MAP: SEE MAP ABOVE
- TOPOGRAPHY: SEE PLAN
- 100 YEAR FLOOD PLAIN BOUNDARY: SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN
- LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: SEE PLAN
- SOILS: MURVILLE (Mu), LEON (L4), SEAGATE (Se) (SEE SOILS MAP ABOVE)
- CAMA AEC & ASSOCIATED SETBACKS: N/A
- CAMA LAND CLASSIFICATION: URBAN
- CONSERVATION RESOURCES: N/A
- LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
- SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
- SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
- PROTECTED SPECIES OR HABITAT: N/A
- THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED): SEE PLAN & VICINITY MAP



- FARMER JOHN T B SR, ALLISON H ETAL, R05010-010-001-000, BOOK 6262, PAGE 2569
- ALLISON CLAUDE M ETAL, R05010-010-002-000, BOOK 1986, PAGE 431
- KIMBALL LEWIS G JR ETAL, R05010-010-003-000, BOOK 5705, PAGE 2023
- BRUNING PATRICIA B, R05010-010-004-000, BOOK 6079, PAGE 2262
- FREEZE MARTHA S, R05010-010-005-000, BOOK 5706, PAGE 2976
- PRINCE DAVID CAROL, R05010-010-006-000, BOOK 5349, PAGE 183
- URBAN BRUCE E LYNETTE M, R05010-010-007-000, BOOK 6138, PAGE 2990
- FRENCH ELIZABETH CHARLES S JR, R05010-010-008-000, BOOK 6294, PAGE 376
- LONDON DONALD D ROSEMARY D, R05010-010-009-000, BOOK 6203, PAGE 140
- DEFRANCE JAMES W PATRICIA W, R05010-010-010-000, BOOK 1853, PAGE 1136

EDWARDS HOLDINGS, LLC
R05006-004-004-000
BK 2657, PG 486 (ESMT)
BK 2664, PG 74
TRACT II
ZONED RB
USE: 551-RETAIL AUTO

CAROLYN WILLIS REVOCABLE LIVING TRUST
R05006-004-007-000
BK 5177, PG 180
ZONED RB
USE: 10-1 FAMILY RESIDENTIAL

EDWARDS HOLDINGS, LLC
R05006-004-004-000
BK 2657, PG 486 (ESMT)
BK 2664, PG 74
TRACT II
ZONED RB
USE: 551-RETAIL AUTO

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BOOK 6182, PAGE 2683

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R05006-002-027-000
BOOK 5349, PAGE 1528

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CHECKPOINT NO. 2
XF1 SALES EXPANSION

CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

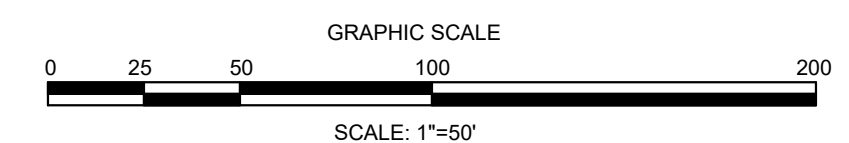
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Approved Construction Plan	
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

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811
Know what's below. Call before you dig.

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DWQ SEWER PERMIT #: _____
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SEWER SHED # AND PLANT: _____
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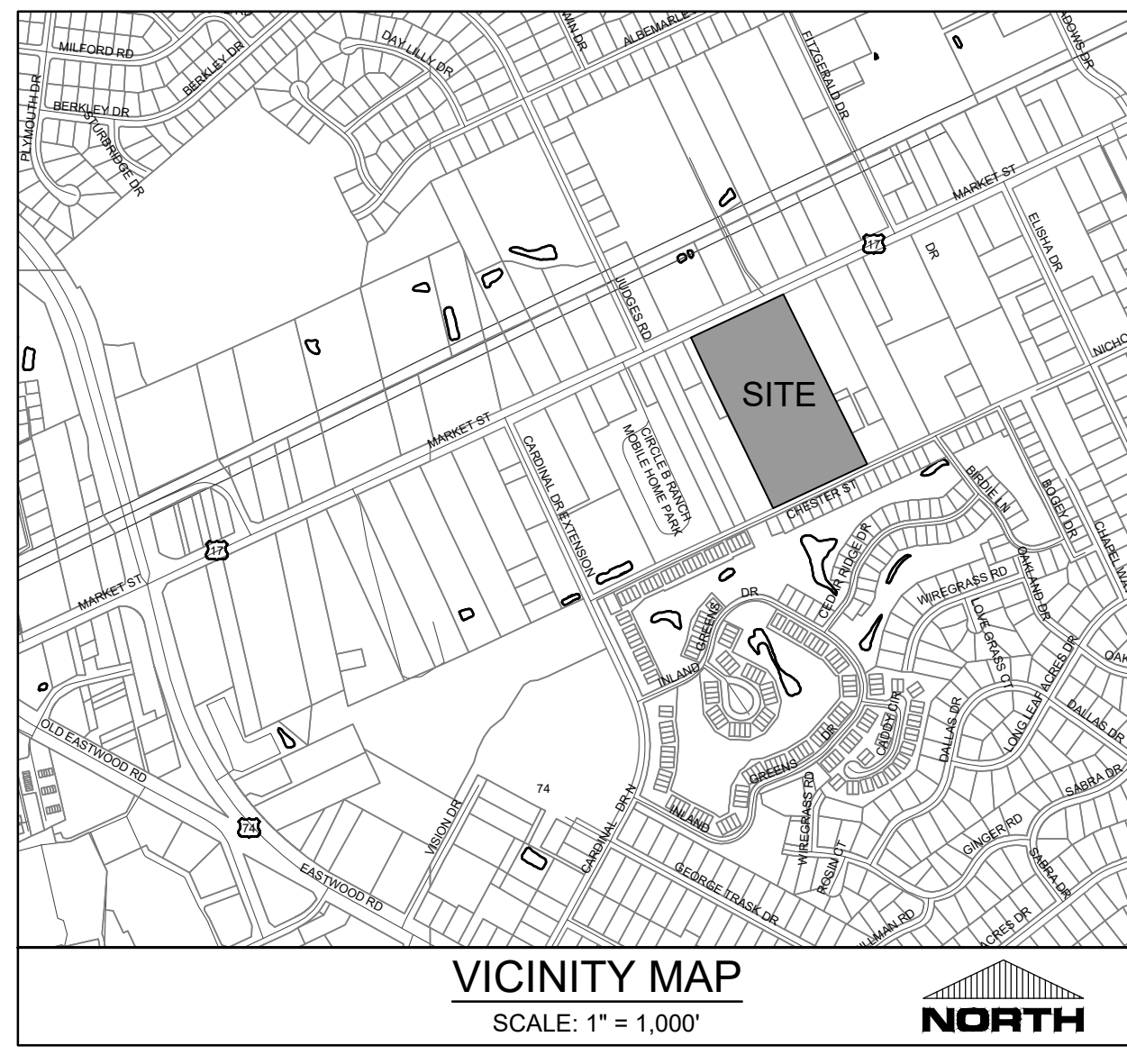


Carmax
THE AUTO SUPERSTORE
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY, RICHMOND, VA 23238

SALES EXPANSION FOR:
STORE NO. 6022
6030 MARKET STREET
WILMINGTON, NC 28405

20-21104.02
01 DEC 21

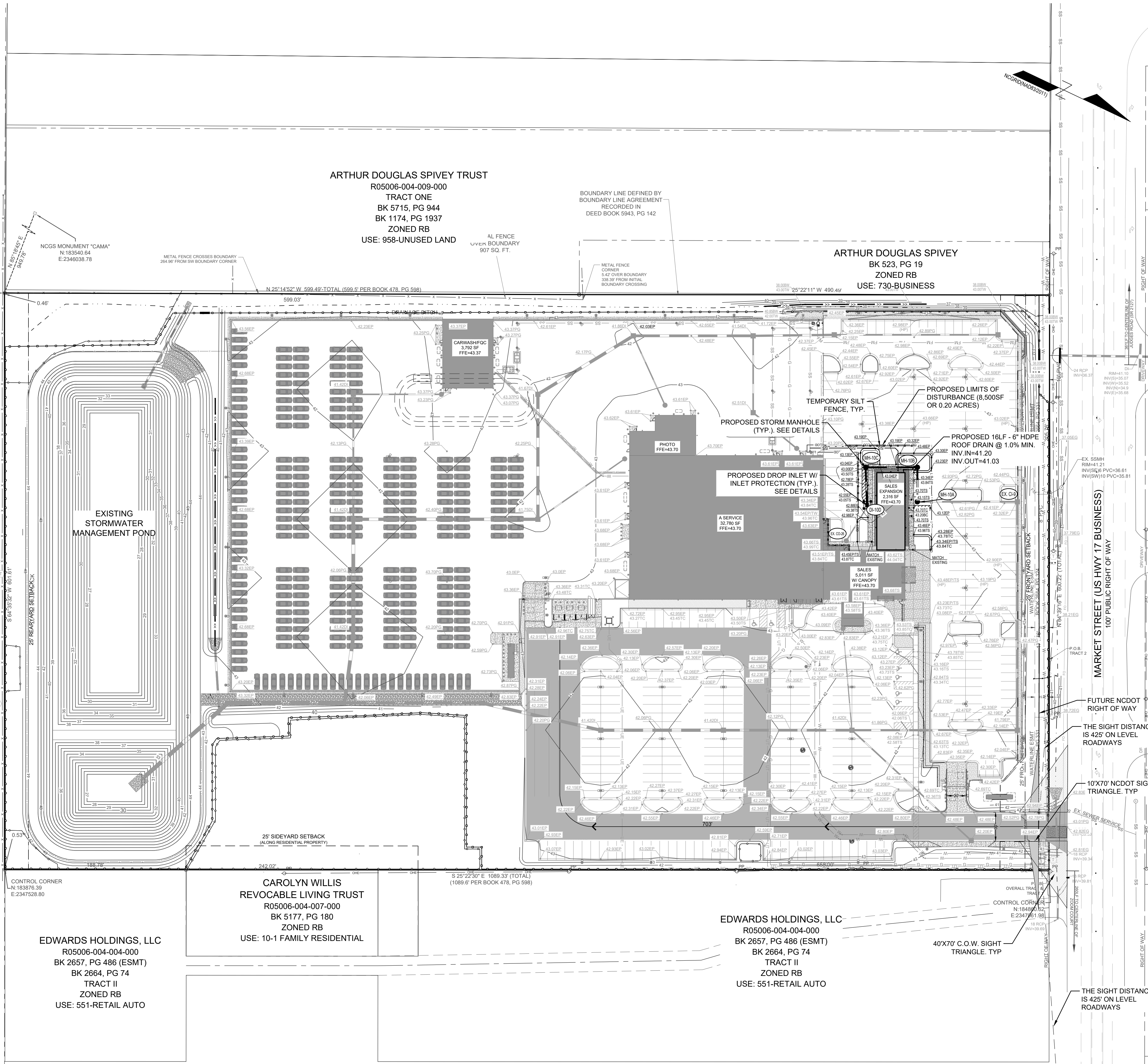
SITE INVENTORY MAP



- GRADING NOTES:**
- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
 - 2) SEE TABLE BELOW FOR STORM PIPE SCHEDULE.
 - 3) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.
- ASPHALT AREA NOTE:**
- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- BUILDING PAD NOTE:**
- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

- DRAINAGE NOTES:**
- 1) DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES AS PERMITTED WITH THE STATE AND LOCAL MUNICIPALITY.
 - 2) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
 - 3) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
 - 4) ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
 - 5) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1/2 INCH BELOW EOP.
 - 6) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
 - 7) PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM. SEE CIVIL OR ARCHITECTURAL DETAILS FOR DOWNSPOUT DETAILS AND CONNECTIONS.
 - 8) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE TO REMAIN TO MATCH PROPOSED GRADES.
 - 9) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR WATERTIGHT HDPE PIPE), EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.
 - 10) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE PROPOSED BUILDING INCLUDING FINISHED FLOOR ELEVATION AND STORMWATER COLLECTION SYSTEM TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED. THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.

- FARMER JOHN T B SR, ALLISON H**
R05010-010-001-000
BOOK 6262, PAGE 2569
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R05010-010-002-000
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R05010-010-008-000
BOOK 6294, PAGE 376
- LONDON DONALD D ROSEMARY D**
R05010-010-009-000
BOOK 6203, PAGE 140
- DEFRANCE JAMES W PATRICIA W**
R05010-010-010-000
BOOK 1853, PAGE 1136



STORM SCHEDULE:

Upstream Node	Downstream Node	Diameter r (in)	Upstream Pipe Invert (ft)	Downstream Pipe Invert (ft)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)	Downstream Rim Elev (ft)	Pipe Material
CO-26	DI-100	12	40.28	35.97	46	8.11	43.70	42.55	HDPE
DI-100	MH-10C	18	35.97	35.93	35	0.11	42.55	43.05	HDPE
MH-10C	MH-10B	18	35.93	35.86	50	0.13	43.05	43.85	HDPE
MH-10B	MH-10A	18	35.86	35.82	34	0.13	43.85	43.38	HDPE
MH-10A	EX. CI-09	18	35.82	35.49	101	0.33	43.38	42.19	HDPE

LEGEND:

- 16 --- EXISTING CONTOUR
- 29 --- PROPOSED CONTOUR
- EG+25.05 EXISTING GRADE SPOT ELEVATION
- EP+25.05 PROPOSED EDGE OF PAVEMENT
- TW+25.05 PROPOSED SIDEWALK ELEVATION
- GL+25.05 PROPOSED GUTTER FLOW LINE
- TC+25.05 PROPOSED TOP OF CURB ELEVATION
- INLET PROTECTION
- LOD LIMITS OF DISTURBANCE
- SILT FENCE
- TREE PROTECTION FENCING
- DRAINAGE FLOW PATH
- DRAINAGE INLET LABEL
- SPILL GUTTER
- ROCK INLET PROTECTION
- GEOTECH BORING LOCATION
- DRAINAGE FLOW PATH & SLOPE

SPOT GRADE LEGEND:

- CI = CURB INLET
- DCB = DOUBLE CATCH BASIN
- DI = DROP INLET
- DOI = DOUBLE DROP INLET
- YI = YARD INLET
- MH = STORM MANHOLE
- RMI = IN-LINE DRAIN
- DB = DRAIN BASIN
- B/C/T/C = TOP OF CURB ELEVATION
- G/C = GUTTER CURB (FLOW LINE) ELEVATION
- C/C = CURB CUT (F/LINE) ELEVATION
- P/G = PROPOSED GRADE (GROUND)
- G/V/L = PROPOSED GRAVEL GRADES
- P/V = PROPOSED PAVEMENT
- EP = EDGE OF PAVEMENT
- EC = EDGE OF CONCRETE
- F/F/E = FINISHED FLOOR ELEVATION
- H/P = HIGH POINT ELEVATION
- L/P = LOW POINT ELEVATION
- T/S = TOP OF WALL (SIDEWALK) ELEVATION
- D/G = DITCH GRADE ELEVATION
- CL = CENTERLINE
- INV = INVERT
- F/S = FLARED END SECTION
- T/W/L = TOP OF WALL ELEVATION
- B/W/L = BOTTOM OF WALL ELEVATION
- EOG = EXISTING GRADE
- (XX) = EXISTING ELEVATIONS, TYP.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

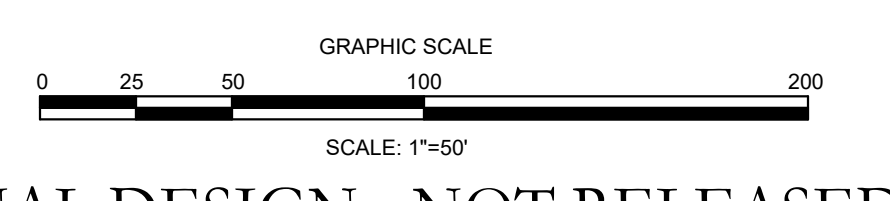
Name _____ Date _____

Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

811
Know what's below. Call before you dig.

NCDENR PWSS WATER PERMIT # _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT # _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



PARAMOUNT ENGINEERING INC.
122 Linema Drive
Wilmington, North Carolina 28403
(910) 791-4500 (F) (910) 791-4700 (F)
N.C. License #: C-2846

100% DISTRIBUTION
XF1 SALES EXPANSION

TRACY PROPERTIES, LLC
R05006-002-012-000
BOOK 6182, PAGE 2683

TRIANGLE GROUP HOLDINGS, LLC
R05006-002-016-000
BOOK 6157, PAGE 2924

PATHFINDER BUSINESS ANALYSIS, LLC
R05006-002-018-000
BOOK 6162, PAGE 782

SPK REAL PROPERTIES HOLDINGS
R05006-002-027-000
BOOK 5349, PAGE 1528

NOT RELEASED FOR CONSTRUCTION

DA21-038/ PC21-021
RPB
RPB

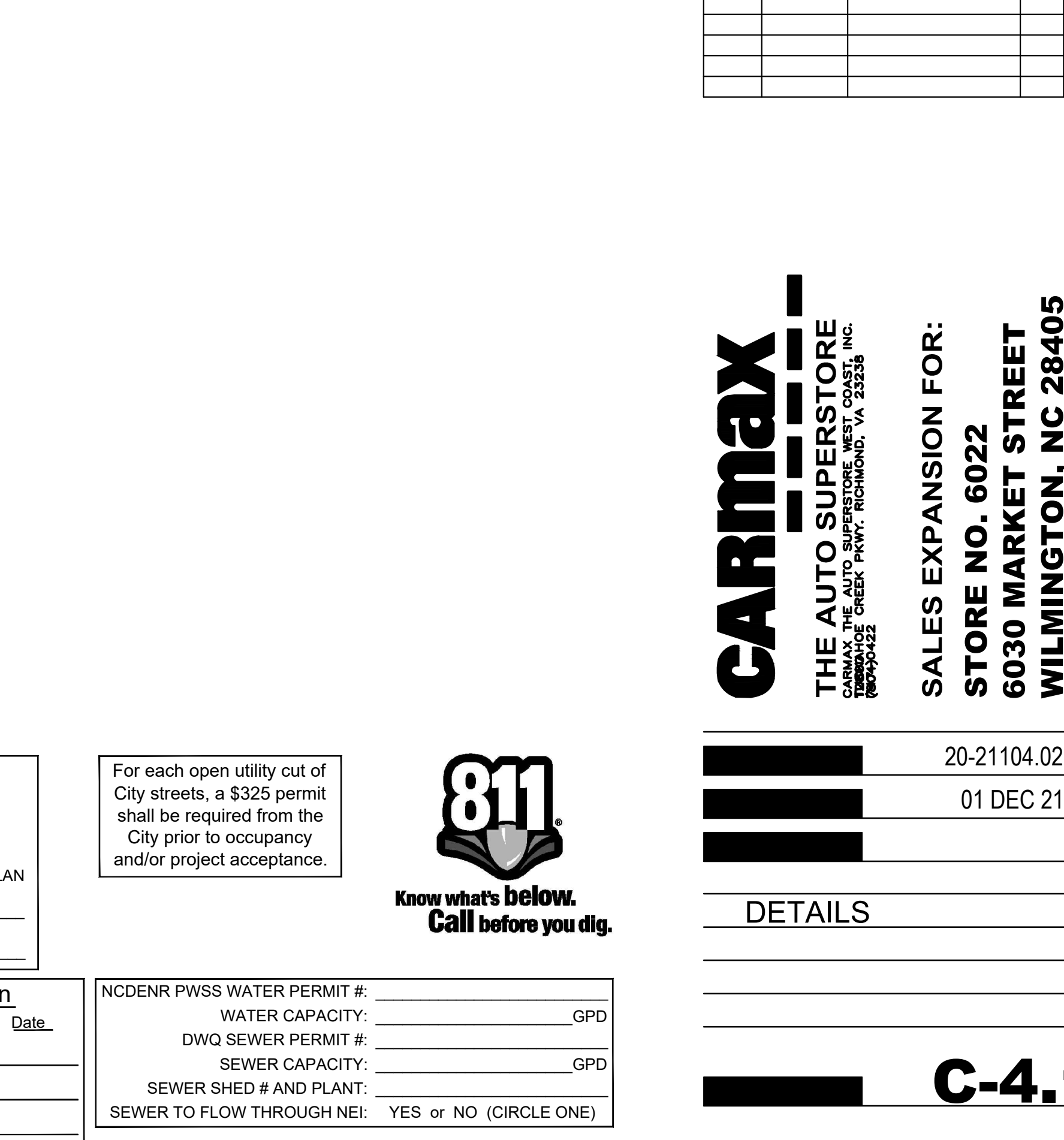
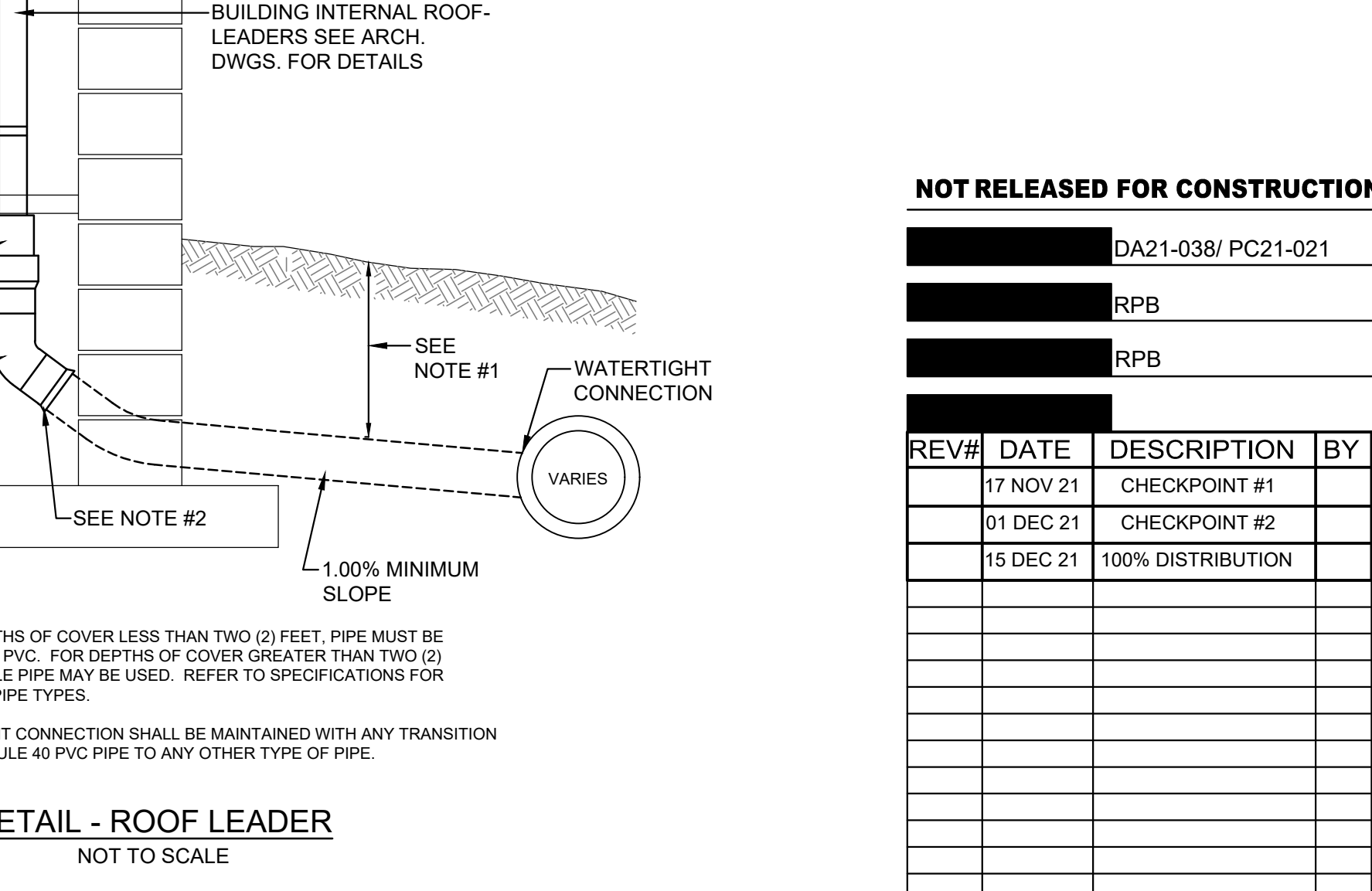
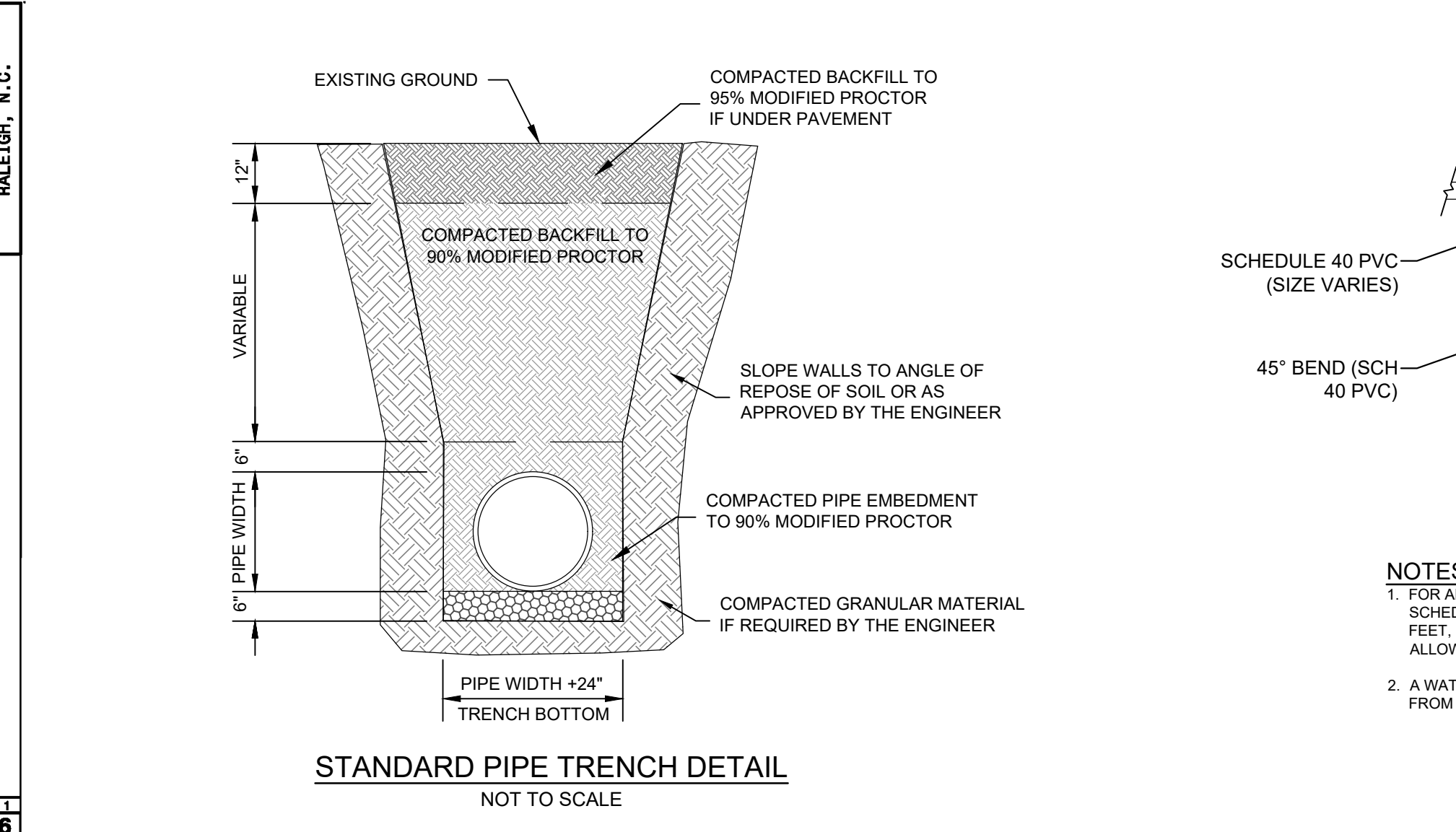
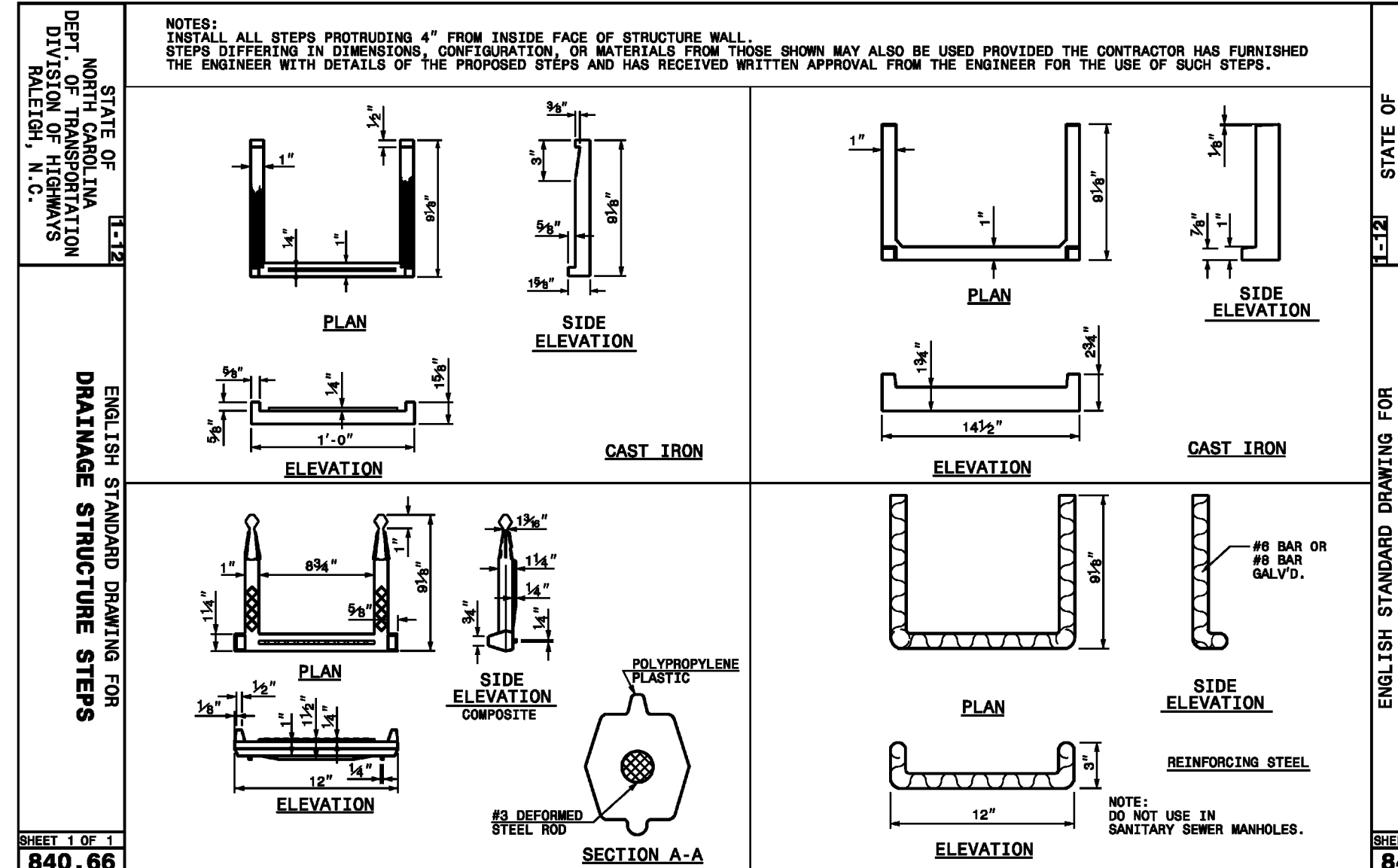
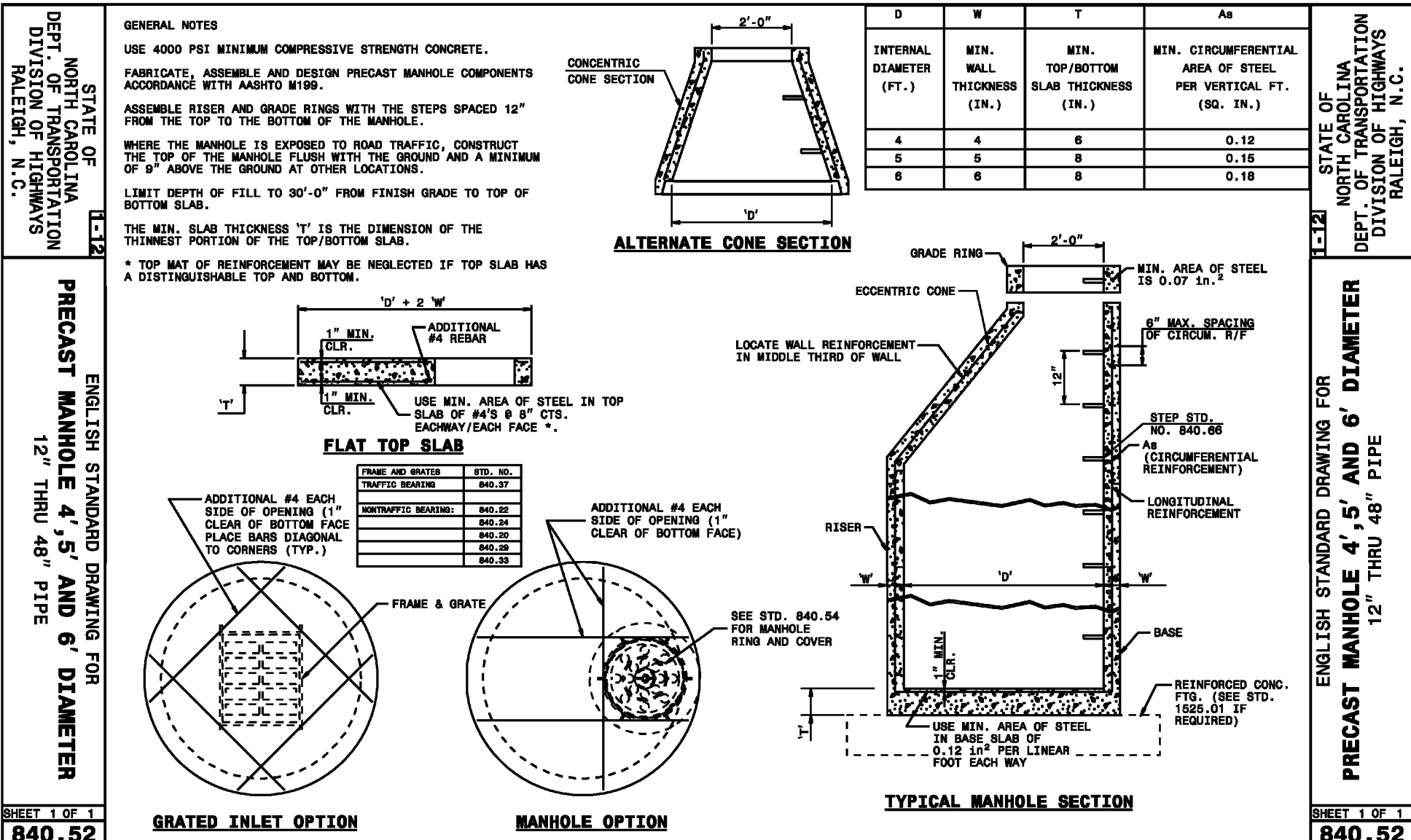
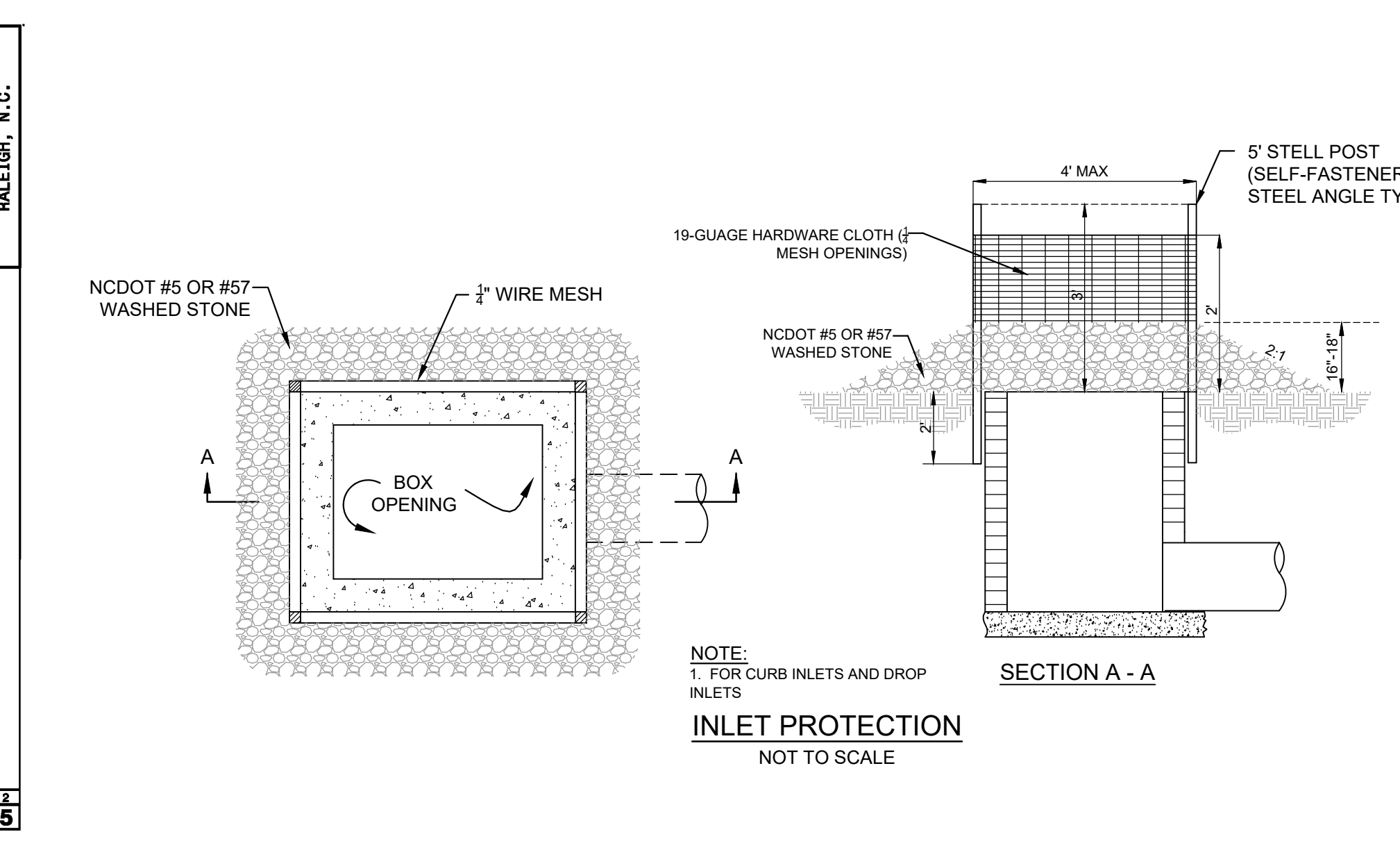
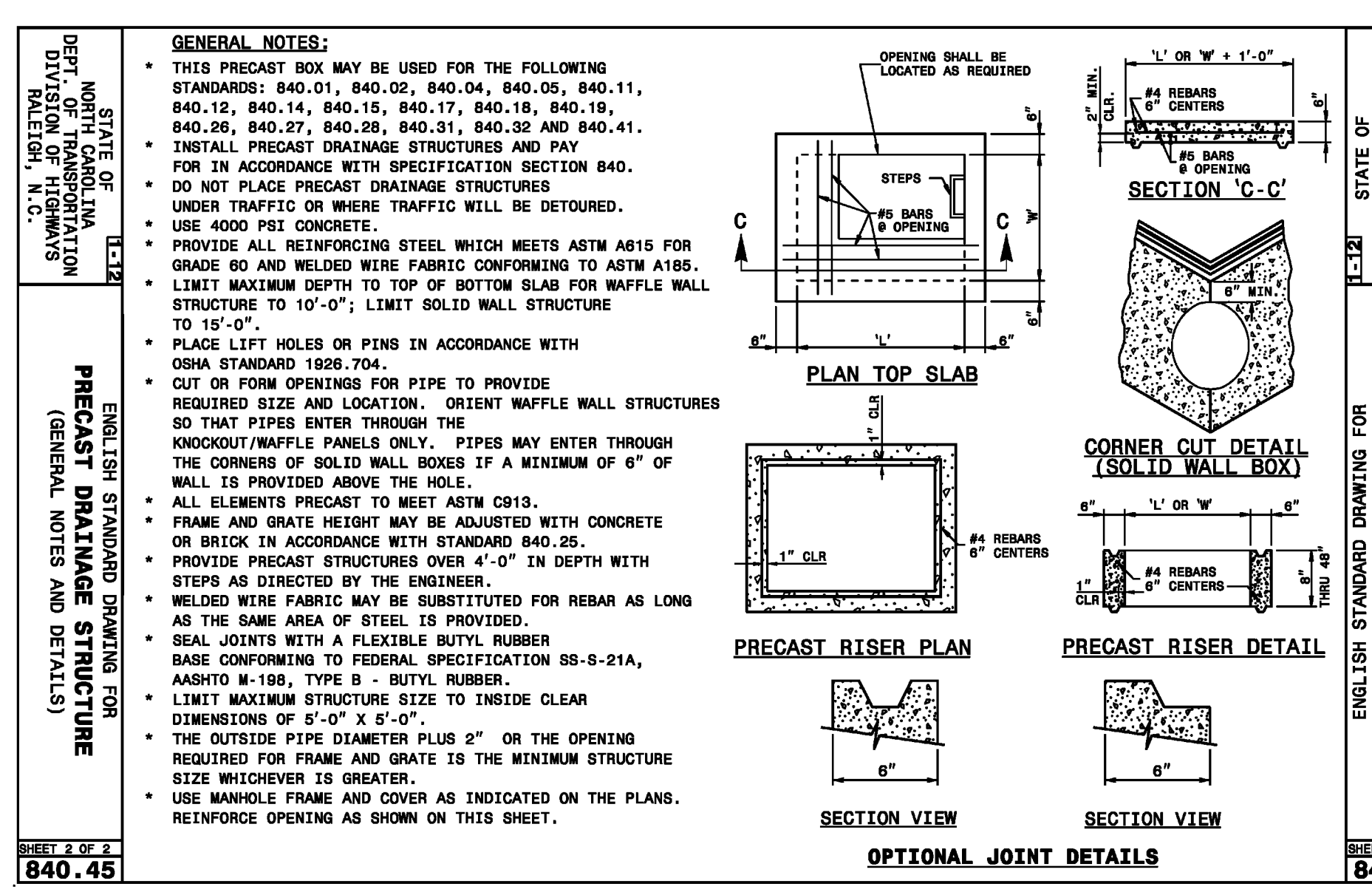
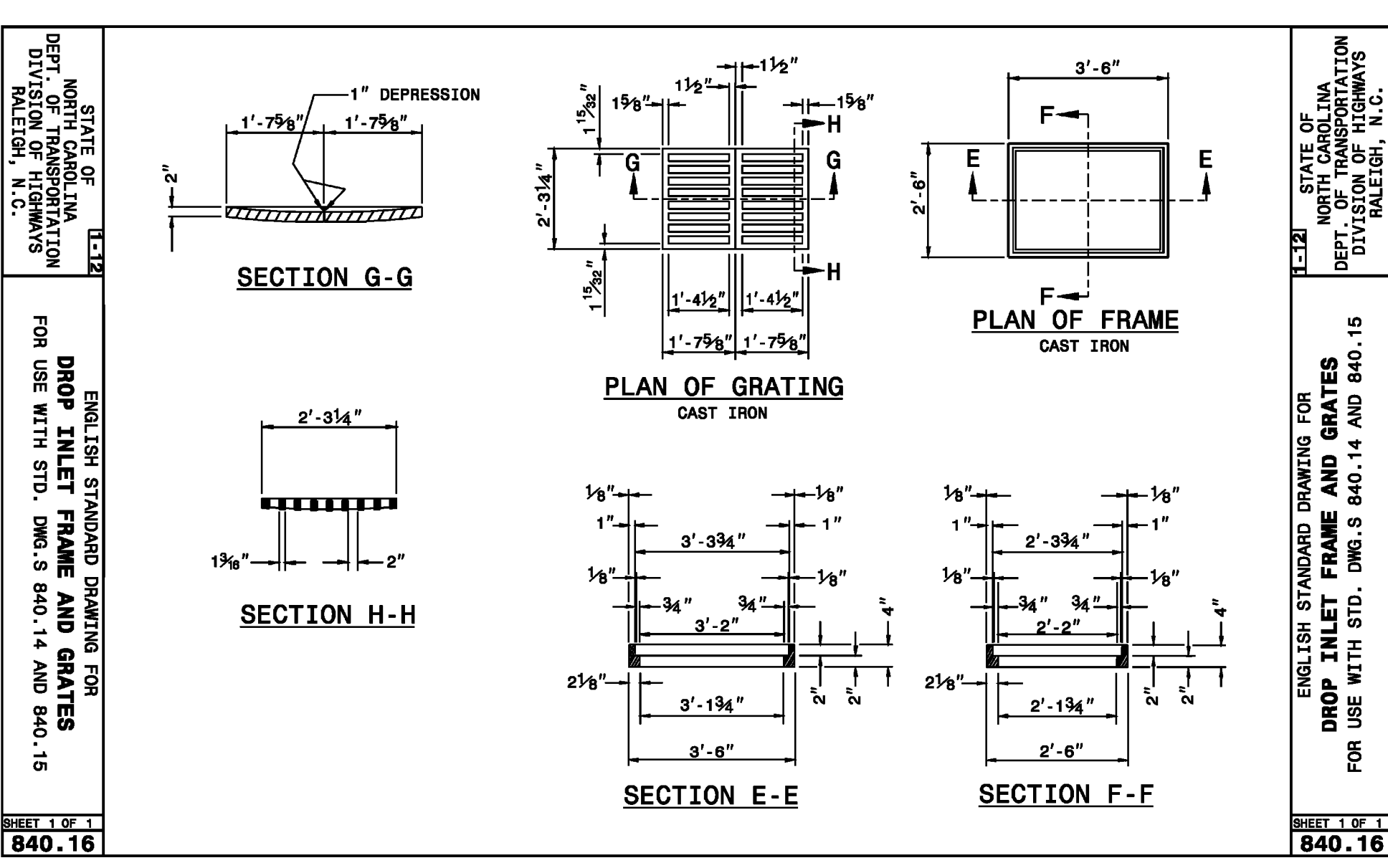
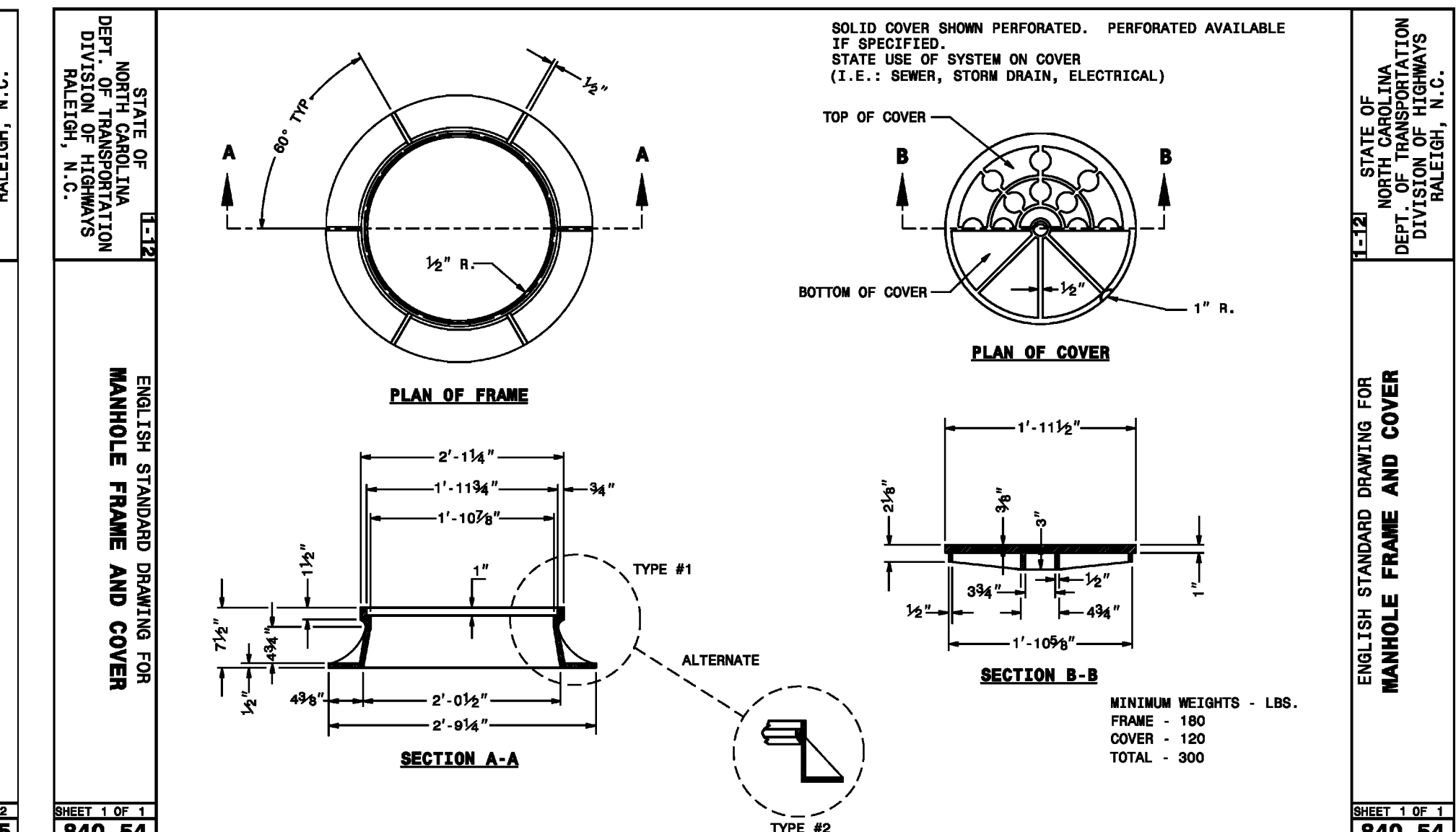
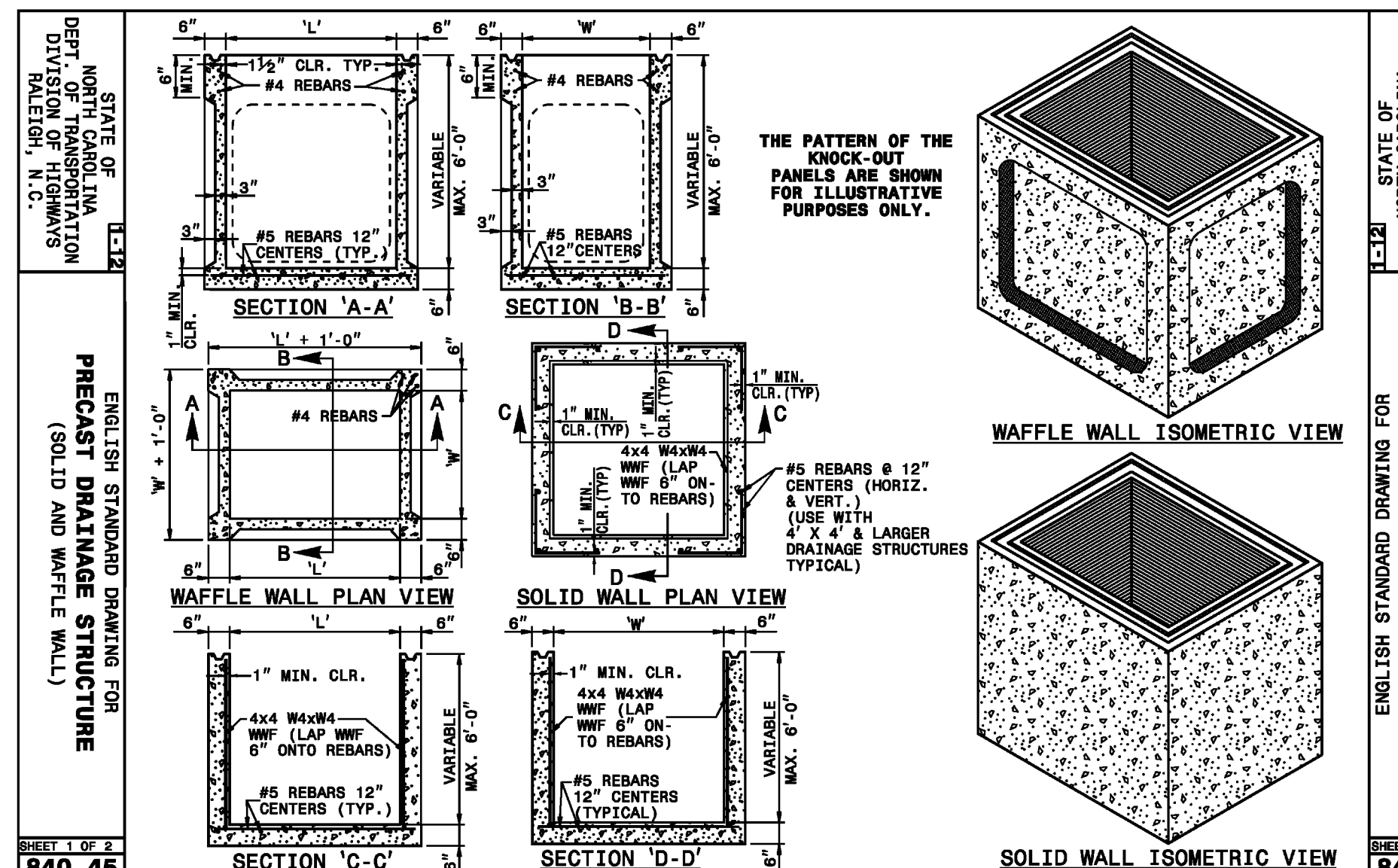
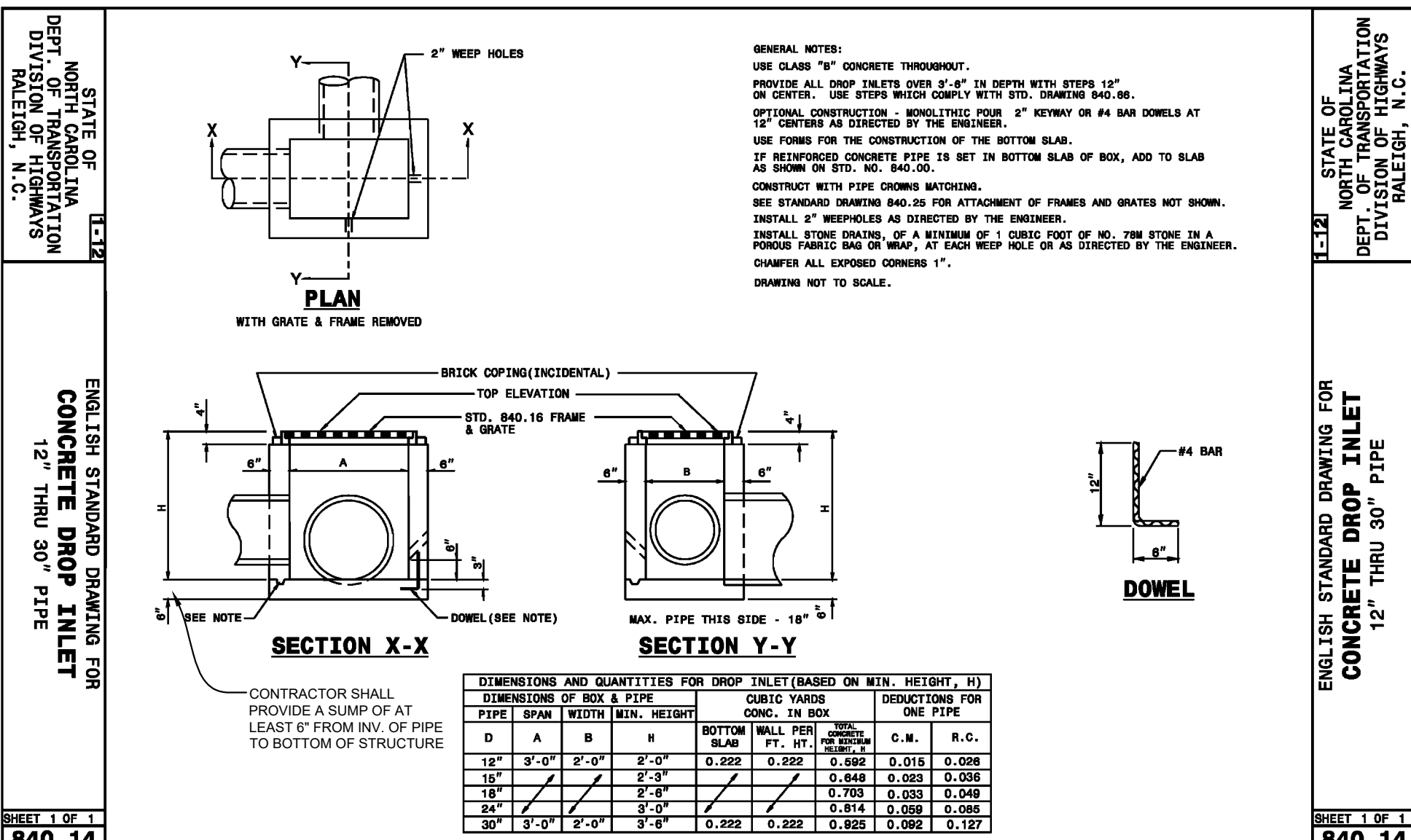
REV#	DATE	DESCRIPTION	BY
17	NOV 21	CHECKPOINT #1	
01	DEC 21	CHECKPOINT #2	
15	DEC 21	100% DISTRIBUTION	

Carmax
THE AUTO SUPERSTORE
SALES EXPANSION FOR:
STORE NO. 6022
6030 MARKET STREET
WILMINGTON, NC 28405

20-21104.02
14 MAR 22

GRADING-DRAINAGE-EC PLAN

C-3.0



PARAMOUNT ENGINEERING INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6700 (F)
 N.C. License # C-2846

CHECKPOINT NO. 2
 XF1 SALES EXPANSION

NOT RELEASED FOR CONSTRUCTION

REV#	DATE	DESCRIPTION	BY
17	NOV 21	CHECKPOINT #1	
01	DEC 21	CHECKPOINT #2	
15	DEC 21	100% DISTRIBUTION	

CARMAX
 THE AUTO SUPERSTORE
 CARMAX FIN. AUTO. SUPERSTORE, INC. 2525A
 SALES EXPANSION FOR:
 STORE NO. 6022
 6030 MARKET STREET
 WILMINGTON, NC 28405

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
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Approved Construction Plan
 Name _____ Date _____

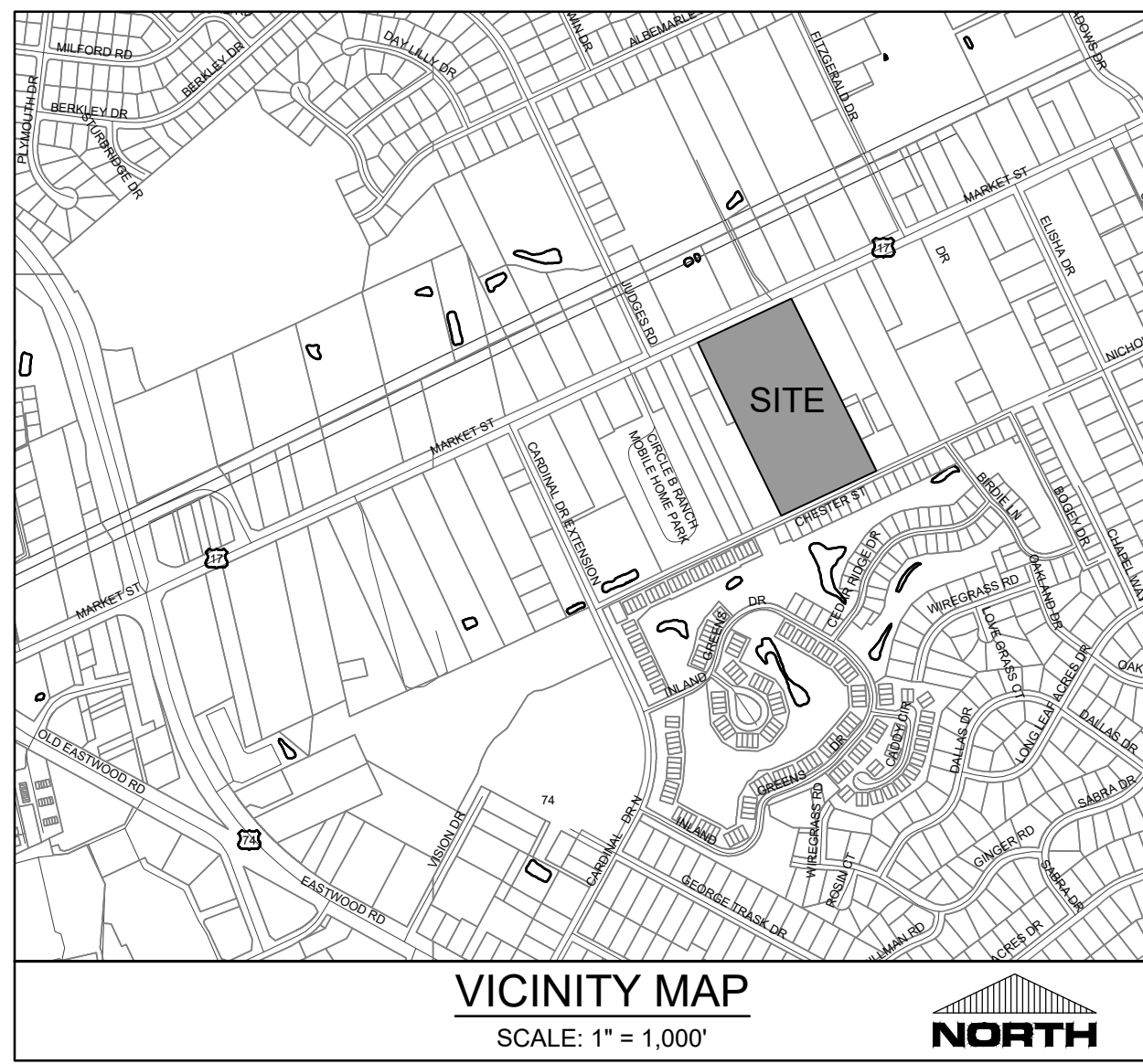
Planning _____
 Traffic _____
 Fire _____

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 SEWER TO FLOW THROUGH NET: YES or NO (CIRCLE ONE)

20-21104.02
 01 DEC 21
 DETAILS
C-4.1
 FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE DATA TABULATION

OWNER:	CARMAX OF WILMINGTON	
PROJECT ADDRESS:	6030 MARKET STREET WILMINGTON, NC 28403	
TAX PARCEL IDENTIFICATION #:	R05000-002-010-000 (13.83 AC) - LOT 1 R05000-002-004-001 (1.20 AC) - LOT 2 BK 2664, PG 331 (ESMT) - LOT 1 BK 1783, PG 1251 - LOT 1 BK 2664, PG 324 (ESMT) - LOT 2 BK 1425, PG 1328 - LOT 2 15.038 ACRES (655,055 SF)	
RECORDED DEED BOOK:	RB - REGIONAL BUSINESS URBAN	
TOTAL SITE AREA:	35' UNDEVELOPED AUTOMOBILE DEALER - USED	
CURRENT ZONING:	UNDEVELOPED	
CAMA LAND USE CLASSIFICATION:	AUTOMOBILE DEALER - USED	
MAXIMUM ALLOWABLE BUILDING HEIGHT:	35'	
EXISTING LAND USE:	UNDEVELOPED	
PROPOSED LAND USE:	AUTOMOBILE DEALER - USED	
SETBACK STANDARDS	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	150.5 FT. (NORTH)	25 FT.
MINIMUM SIDE SETBACK	254.5 FT. (EAST)	0 FT.
MINIMUM SIDE SETBACK	125.7 FT. (WEST)	0 FT.
MINIMUM REAR SETBACK	661.5 FT. (SOUTH)	25 FT.
SITE INFORMATION	LOT AREA	LOT COVERAGE
	655,055 SF (15.03 AC)	43,560 SF (1 AC)
	602.47'	100' MIN.
	6.70%	40% MAX.
BUILDING INFORMATION	CONSTRUCTION TYPE:	NUMBER OF PROPOSED BUILDINGS:
	IIB	1
	PROPOSED BUILDING SF:	
	2,316 SF	
OVERALL HEIGHT:	28'-0"	
LOT COVERAGE:	6.70% (TOTAL = EXISTING + PROPOSED)	

- GENERAL NOTES**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.

LANDSCAPE NOTES

LANDSCAPE CALCULATIONS
REQUIRED FOUNDATION PLANTINGS FOR SALES CENTER EXPANSION ONLY
((BLDG LENGTH X BLDG HGT) X 12%)

WEST SIDE:	259 X 28) X 0.12 = 98 SF REQUIRED
PROVIDED:	133 SF
NORTHERN SIDE:	(77 X 28) X 0.12 = 259 SF REQUIRED
PROVIDED:	303 SF
SOUTHERN SIDE:	(77 X 28) X 0.12 = 259 SF REQUIRED
PROVIDED:	262 SF

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED NO CLOSER THAN 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE, OTHER THAN THOSE NOTED ON APPROVED PLANS FOR REMOVAL, SHALL BE REMOVED. ALL EXISTING TREES SHALL REMAIN UNLESS BEING REMOVED IN DEMO AREA. STORE REMOVED PLANTS ON SITE AS NOTED ON PLAN.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. ALL SINGLE TREES (INCLUDING BOTH PROPOSED AND EXISTING TREES) SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 6 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOIL SEED. ALL SODDED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVEL GROUND.
- CONTRACTOR SHALL INSTALL WEED BARRIER FABRIC IN ALL NEW PLANTING AREAS AND APPLY PRE AND POST EMERGENTS TO LANDSCAPE AREAS TO KEEP THE BEDS FREE OF WEEDS DURING CONSTRUCTION THROUGH FINAL COMPLETION UNLESS OTHERWISE AGREED TO BY OWNER OR OWNER'S REPRESENTATIVE.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- IF IRRIGATION IS REQUIRED, PLANS AND SPECIFICATIONS FOR THE IRRIGATION DESIGN SHALL BE SUBMITTED TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF THE MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRUNK, DEBRIS AND EXCESS MATERIAL FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- LANDSCAPE ISLANDS TO BE MULCHED AS PER OWNER OR OWNER'S REPRESENTATIVE SPECIFICATION.

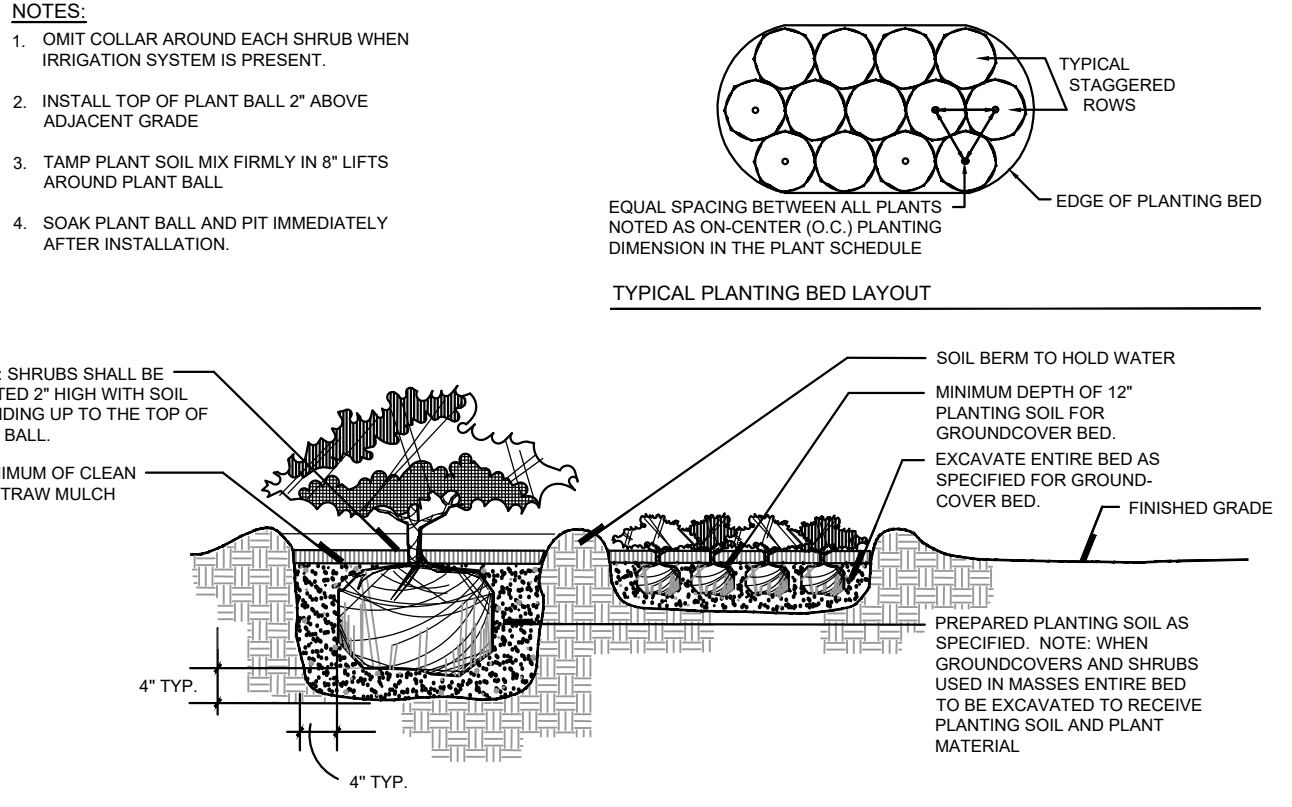
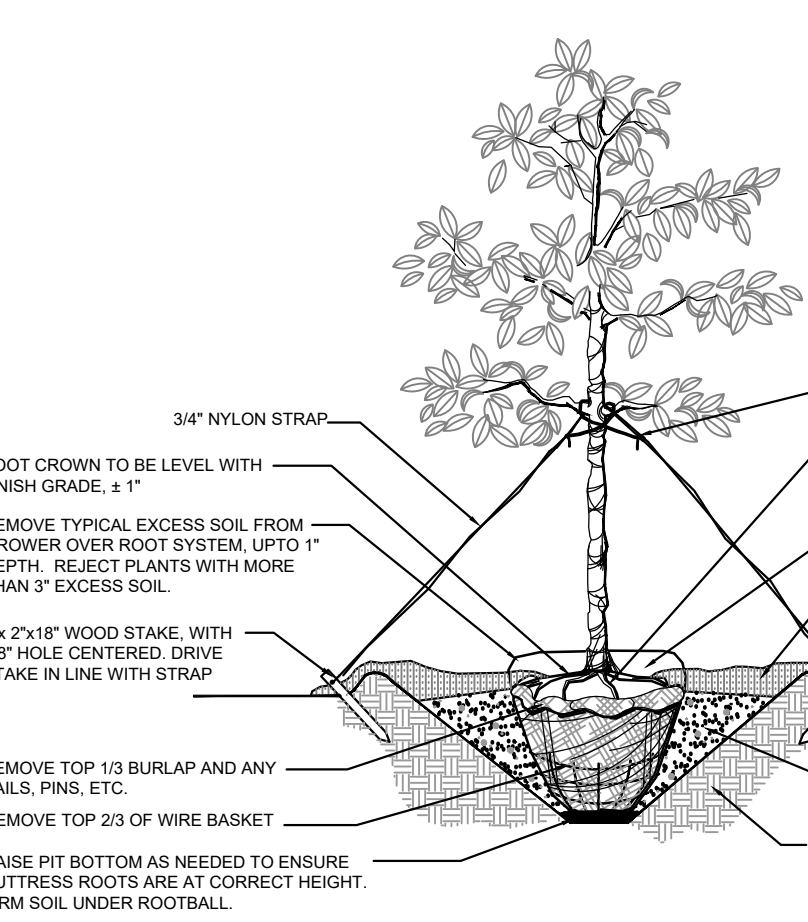
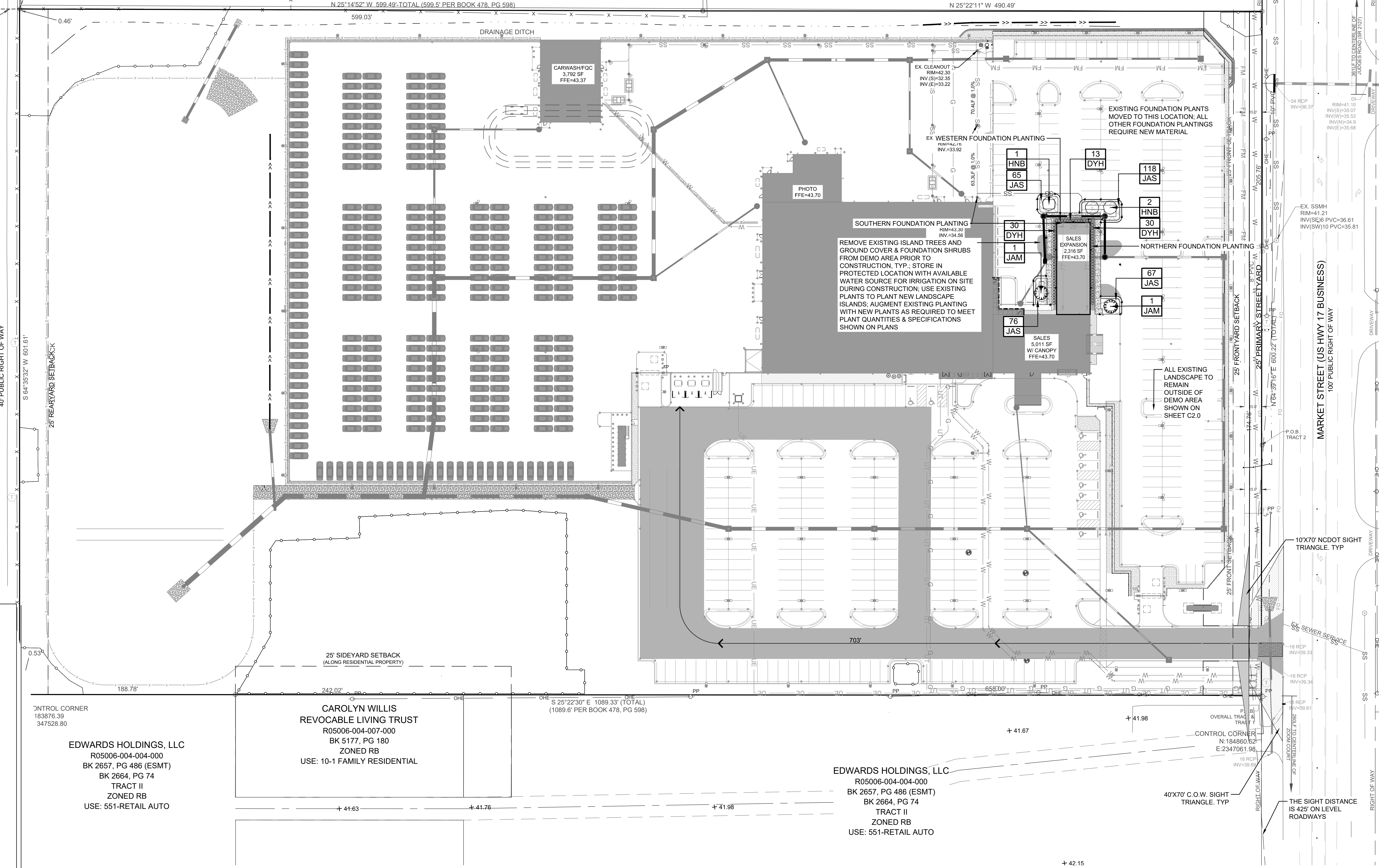
- TREE NOTES:**
- ALL TREES EXCEPT JAPANESE MAPLES ARE LARGE SHADE TREES.
- MULCH NOTES:**
- ALL MULCH SHALL BE MATCH EXISTING MULCH ON SITE AND BE APPLIED AT 3" THICK MIN. 4" THICK MAX. CONTRACTOR SHALL NOT PLACE MULCH DIRECTLY AGAINST TREE TRUNKS.

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE		
JAM	2	Acer palmatum Japanese Maple	8' hgt. min.		
HNB	3	Carpinus betulus 'Fastigata' Pyramidal European Hornbeam	2.5' cal		
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	
DYH	73	Ilex vomitoria 'Bordeaux' Bordeaux Holly	7 gal	30" o.c.	
LOR	3	Loropetalum = 'Ruby' Ruby Loropetalum	7 gal	42" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	JAS	326	Trachelospermum a. 'Asiatic' Asiatic Jasmine	4" pot	18" o.c.

ARTHUR DOUGLAS SPIVEY TRUST
R05006-004-009-000
TRACT ONE
BK 5715, PG 944
BK 1174, PG 1937
ZONED RB
USE: 958-UNUSED LAND

ARTHUR DOUGLAS SPIVEY
BK 523, PG 19
ZONED RB
USE: 730-BUSINESS



HATCH LEGEND

[Pattern]	3'-4" MULTI-COLORED SMOOTH RIVER ROCK AS AVAILABLE FROM THE STONE GARDEN (WWW.STONEGARDEN.NC.COM) OR APPROVED EQUAL
[Pattern]	REQUIRED LANDSCAPE BUFFER
[Pattern]	GROUND COVER - ASIATIC JASMINE
[Pattern]	SOD - SEE PLANT SCHEDULE THIS SHEET
[Pattern]	SEED - SEE PLANT SCHEDULE THIS SHEET
[Pattern]	SIGHT DISTANCE TRIANGLE

CHECKPOINT NO. 2
XF1 SALES EXPANSION

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DA21-038/ PC21-021
AHE
AHE

REV#	DATE	DESCRIPTION	BY
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Public Services • Engineering Division
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20-211004.02
01 DEC 21
LANDSCAPE PLAN