PH: 910-342-2782 PIEDMONT NATURAL GAS ATTN: CARL PAQUET PH: 910-350-2242 EMERGENCY DIAL 911 POLICE - FIRE - RESCUE

PH: 910-332-6673 DUKE ENERGY PROGRESS ATTN: KEVIN LEATHERWOOD PH: 910-602-4304 AT&T

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)

ATTN: STEVE DAYVAULT PH: 910-341-0741

ATTN: JEFF THEBERGE, PE

TIME WARNER CABLE PH: 910-763-4638

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT

CONTACT THESE UTILITIES

1-800-632-4949 CITY OF WILMINGTON, DEVELOPMENT SERVICES

ATTN: ROB BALLAND (910) 791-6707 rballand@paramounte-eng.com

OWNER: CARMAX AUTO SUPERSTORE, INC 12800 TUCKAHOE CREEK PARKWAY RICHMOND, VA 23238 ATTN: DAN BICKETT (804) 935-4547

SHEET NUMBER

C-0.0

C-1.0

C-2.0

C-2.1

C-2.2

C-2.3

C-3.0

C-3.1

C-4.0

C-5.0 - C-5.8

L-1.0

ATTN: BRIAN CHAMBERS, AICP

PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403

SHEET INDEX

Dan_Bickett@carmax.com **CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS**

SHEET TITLE

COVER SHEET

GENERAL NOTES

DEMOLITION PLAN

SITE PLAN

SITE INVENTORY MAP

TREE REMOVAL PLAN

GRADING AND DRAINAGE PH I

GRADING AND DRAINAGE PH II

UTILITY PLAN

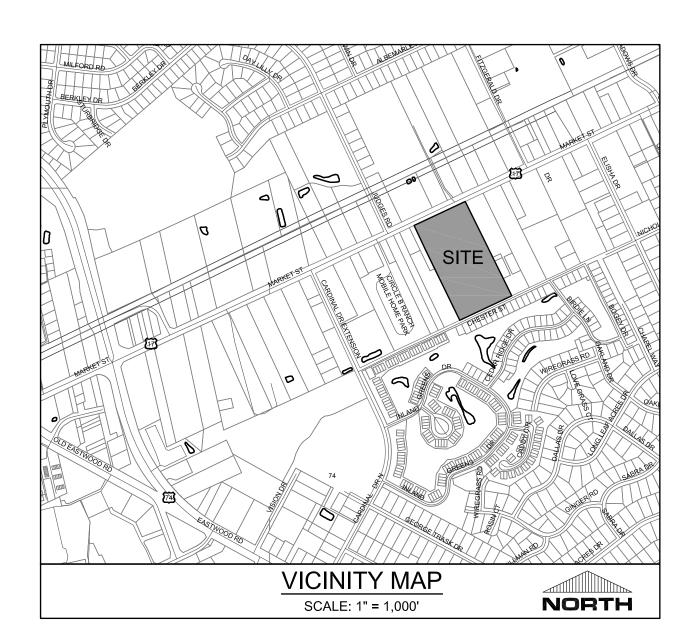
DETAILS

LANDSCAPE PLAN

CARMAX AUTO SUPERSTORE BUILDING EXPANSION 6030 MARKET STREET WILMINGTON, NORTH CAROLINA

OCTOBER 2021

PROJECT ADDRESS: 6030 MARKET STREET Wilmington, NC 28403



Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN	
Date: Permit # Signed:	For e City s shall
Approved Construction Plan	City and/o
Name Date Planning	NCDEI
Traffic	
Fire	
	SEW

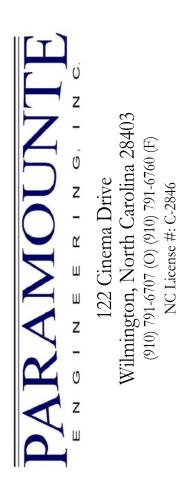
each open utility cut of streets, a \$325 permit be required from the / prior to occupancy /or project acceptance.

ENR PWSS WATER PERMIT #: WATER CAPAC DWQ SEWER PERMI SEWER CAPAC SEWER SHED # AND PL



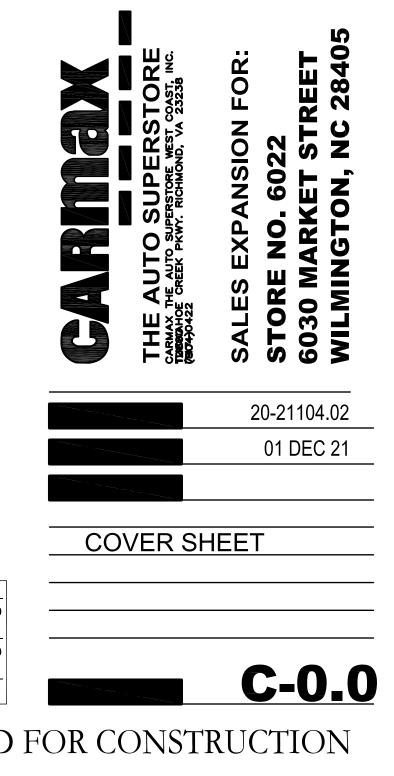
	$-$ INIX I WOO WATELY I LINUIT π .
GP	WATER CAPACITY:
	DWQ SEWER PERMIT #:
GP	SEWER CAPACITY:
	SEWER SHED # AND PLANT:
YES or NO (CIRCLE ONE)	ER TO FLOW THROUGH NEI

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



CHECKPOINT NO. 2 XF1 SALES EXPANSION

NOT RELEASED FOR CONSTRUCTION		
	DA21-038/ PC21-02	21
	RPB	
	RPB	
REV# DATE	DESCRIPTION	BY
17 NOV 21	CHECKPOINT #1	
01 DEC 21	CHECKPOINT #2	
15 DEC 21	100% DISTRIBUTION	
		$\left \right $
		



COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- 2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
- 3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- 4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- 5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- GENERAL NOTES:
- 1. EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNERS REPRESENTATIVE AND/OR ENGINEER IMMEDIATELY.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- 3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- 4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
- 5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- 6. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

DEMOLITION NOTES

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND
- PROPER DISPOSAL. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS,
- TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA 11. REGULATIONS.
- 12. EXISTING FIRE HYDRANTS ARE TO REMAIN IN SERVICE.
- 13. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

TRAFFIC NOTES

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET NCDOT STANDARDS. 2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO
- (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE
- 5. ANY OPEN CUTTING OF A NCDOT STREET REQUIRES AN ENCROACHMENT PERMIT. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- 6. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
- 7. A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET- YARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGHT DISTANCES.
- 8. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES

NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED; WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.

- 1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE. 2. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE
- DESIGNATED CLEARING LIMITS. 3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL
- MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION. 4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 15 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
- 5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET
- PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. 6. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE SYSTEM, THE CONTRACTOR SHALL INSTALL OUTLET PROTECTION AS
- SHOWN ON THE PLANS AND DETAILS. 7. THE CONTRACTOR SHALL CONVERT THE SEDIMENT BASIN TO THE WET DETENTION POND ONCE THE ENTIRE DRAINAGE BASIN IS FULLY STABILIZED. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT FROM THE POND AND ESTABLISH THE FINAL POND BOTTOM ELEVATION.
- ONCE ALL CONSTRUCTION IS FINISHED WITHIN THE POND DRAINAGE AREA THE CONTRACTOR SHALL REMOVE THE SKIMMER TO COMPLETE THE WET POND CONSTRUCTION. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUTION CONDITIONS ANY AREAS OUTSIDE THE
- PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES. 9. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND
- TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL. 10. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
- 11. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SODDED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUNDCOVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. UNI ESS OTHERWISE INDICATED ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE
- CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT). THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE. ONE WEEK
- PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE. 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
- 8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- 9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
- 10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET

GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):

- MAINTENANCE PLAN:
- ALL PRACTICES AS DESIGNED

- USED WITH 8 FOOT STAKE SPACING.

- Seeding Mixture
- SPECIES CENTIPEDE GRASS

Seeding Dates MARCH - JUNE

Soil Amendments

Mulch

DO NOT MULCH.

Maintenance

Seeding Mixture

BEYOND JUN

<u>SPECIES</u>

SPECIES

<u>SPECIES</u>

Seeding dates

Soil amendments

FERTILIZER.

Maintenance

DAMAGE.

SITE NOTES

RESPECTIVELY.

RYE (GRAIN)

GERMAN MILLET

RYE (GRAIN)

OR EXCESS FERTILIZER.

11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY. 12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED. 13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).

14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN

ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.

SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS

ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (¹/₂ INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.

PERMANENT SEEDING SCHEDULE - MIXTURE 5CP

RATE (LB/ACRE) 10-20

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER

FERTILIZE VERY SPARINGLY--20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT TOLERATE HIGH PH

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

WINTER AND EARLY SPRING

RATE (LB/ACRE) ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS) OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND

SUMMER

FAL

RATE (LB/ACRE)

120

RATE (LB/ACRE)

COASTAL PLAIN - DEC.1-APR. 15 - LATE WINTER AND EARLY SPRING APRIL 15 - AUG. 15 - SUMMER AUG. 15 - DEC. 30 - FALL

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER

ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.

ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.

4. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION. 5. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.

6. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.

7. ALL UTILITIES TO SERVICE PROPOSED STRUCTURE SHALL BE UNDERGROUND ON SITE.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.

CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT.

10. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW, NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPUA,

11. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.

12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED. 13. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

14. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO NCDOT. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.

15. ALL PARKING LOT DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE 16. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE

NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS. 17. SEEDING TO BE INSTALLED TO LOCAL REQUIREMENTS & STANDARD PRACTICES.

18. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

NC ACCESSIBILITY NOTES

- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEYARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY OWNERS AGENT IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS WHETHER BY PARAMOUNTE ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
- 4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- 2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- 3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- 4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
- TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
- 6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2). 8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. .* SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES*
- 9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALLPROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE; OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- 10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT
- (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS. 11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES
- 12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS RAMP NOTES:
- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
- 2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%. 3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE
- PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS. 4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- 5 LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- 6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT. 8 EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NO RUIL DING CODE/ANSLA117.1 AND
- 9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117 1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING. AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING. LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- 2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- 3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).*
- 4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES
- MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
- 5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
- 6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- 7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
- 8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES. 9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
- 10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ¼ INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE
- 11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP. 12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
- 13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA
- 14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.
- PARKING SPACE NOTES:
- 1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
- 2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
- 3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FORACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
- 4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. 5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
- 6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
- 7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THF PARKING SPACES
- 8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED
- 9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
- 10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- 11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
- 12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION
- 13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE. 14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT
- PASSENGER LOADING ZONE NOTES:
- 1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM
- 2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
- 3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY. 4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL
- DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PFRMITTED
- 5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- 6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM. SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM. ACCESSIBLE ENTRANCE NOTES:
- 1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS
- 2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

- 7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN

APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.

GENERAL UTILITY NOTES

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON AND NCDOT REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
- 2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
- ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON

STORM WATER NOTES

PLANS.

- 1. TOTAL SITE AREA = 654,480 SF (15.03 AC)
- 2. DISTURBED AREA = 609,840 SF (14.00 AC)
- 3. IMPERVIOUS AREA DRAINING TO STORMWATER SYSTEM = 440,000 SF (10.10 AC)
- WETLAND NOTES:
- 1) NO WETLANDS EXIST ON-SITE BASED ON A SITE EVALUATION BY ECS CAROLINAS, LLP.

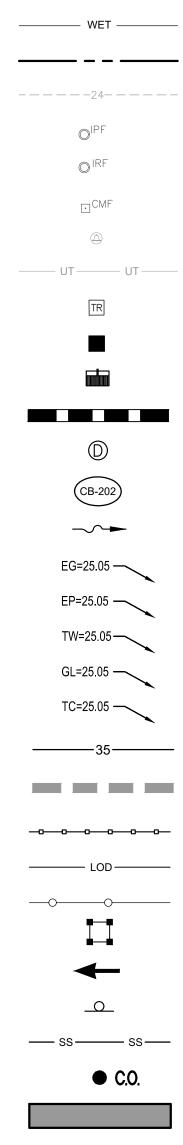
ROOF DRAIN NOTE:

1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

EXISTING UTILITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

LEGEND



- = EXISTING WETLANDS
- = EXISTING PROPERTY LINE
- = EXISTING CONTOURS
- = IRON PIPE FOUND
- = IRON ROD FOUND
- = CONCRETE MONUMENT
- = TELEPHONE PEDESTAL
- = UNDERGROUND TELEPHONE
- = TRANSFORMER PEDESTAL (PAD
- = PROPOSED DROP INLET
- = PROPOSED CURB INLET
- = PROPOSED STORM SEWER
- = PROPOSED STORM DRAIN MANHOLE
- = PROPOSED DRAINAGE INLET
- = PROPOSED DRAINAGE FLOW ARROW
- = EXISTING GRADE SPOT ELEVATION
- = PROPOSED EDGE OF PAVEMENT
- = PROPOSED SIDEWALK ELEVATION
- = PROPOSED GUTTER FLOW LINE
- = PROPOSED TOP OF CURB ELEVATION
- = PROPOSED CONTOUR
- = PROPOSED DRAINAGE AREAS
- = PROPOSED SILT FENCE
- = PROPOSED LIMITS OF DISTURBANCE
- = PROPOSED TREE PROTECTION FENCING
- = PROPOSED INLET PROTECTION = PROPOSED TRAFFIC ARROW
- = PROPOSED SIGN
- = PROPOSED SANITARY SEWER SERVICE
- = PROPOSED SANITARY SEWER CLEANOUT
- = PROPOSED BUILDING
- = PROPOSED CONCRETE CURB & GUTTER

Public Services

Engineering Division APPROVED STORMWATER MANAGEMENT PLAN For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy Approved Construction Plan and/or project acceptance <u>Date</u>

Permit #

Name

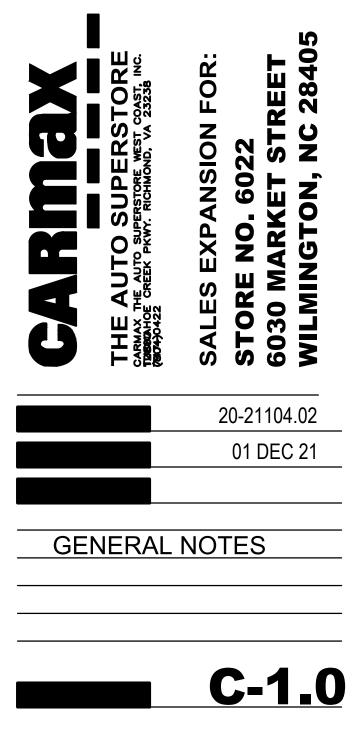
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NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

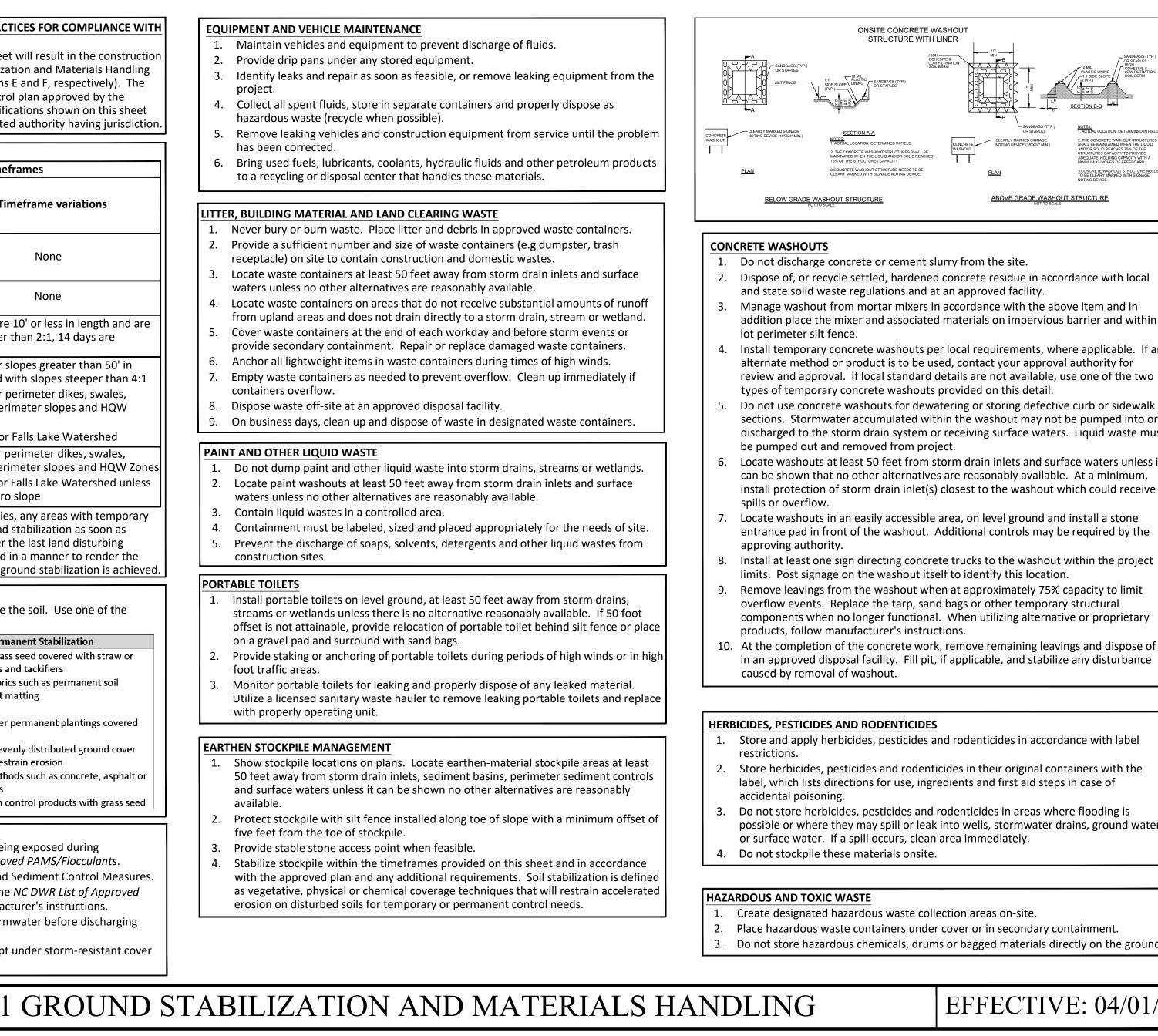
NOT RELEASED FOR CONSTRUCTION			
		DA21-038/ PC21-02	21
		RPB	
		RPB	
REV#	DATE	DESCRIPTION	BY
	17 NOV 21	CHECKPOINT #1	
	01 DEC 21	CHECKPOINT #2	
·	15 DEC 21	100% DISTRIBUTION	



dele	ons of the NCG01 Con nittee shall comply wit gated authority having not apply depending o	h the Erosion and g jurisdiction. All d	Sed etai	liment Cont Is and speci
SECT	ION E: GROUND STAE			
	Re	equired Ground St		ization Tim
Si	te Area Description	Stabilize within t many calendar days after ceasir land disturbance	ng	-
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	-	
(b)	High Quality Water (HQW) Zones	7		
(c)	Slopes steeper than 3:1	7		If slopes a not steepe allowed
(d)	Slopes 3:1 to 4:1	14		-7 days for length and -7 days for ditches, pe Zones -10 days fo
(e)	Areas with slopes flatter than 4:1	14		-7 days for ditches, pe -10 days fo there is ze
rou ract ctiv urfa	nd stabilization shall b ticable but in no case l ity. Temporary groun ice stable against acce UND STABILIZATION S	onger than 90 cale d stabilization sha lerated erosion ur SPECIFICATION	erma enda II be ntil p	anent grour ar days afte e maintaine permanent
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grou practiv uurfa GRO Gtab ech • T o • H • R • R	nd stabilization shall b ticable but in no case l ity. Temporary groun tice stable against acce UND STABILIZATION S ilize the ground suffici	be converted to per longer than 90 cale d stabilization sha elerated erosion un SPECIFICATION ently so that rain velow: ilization ered with straw or rs ducts with or eed	erma enda endil be ntil p will • F c c • C r r • H • S v v • L s s r	anent grour ar days afte e maintaine permanent
grou oractiv surfa GRO Stab sech • T o • H • R w • A • P	nd stabilization shall b ticable but in no case l ity. Temporary groun ice stable against acce UND STABILIZATION S ilize the ground suffici niques in the table bel Temporary Stab emporary grass seed cove ther mulches and tackifie ydroseeding olled erosion control pro- vithout temporary grass so ppropriately applied stray	be converted to per longer than 90 cale d stabilization sha elerated erosion un SPECIFICATION ently so that rain velow: ilization ered with straw or rs ducts with or eed w or other mulch S) AND FLOCCULA at are appropriate ng from the <i>NC D</i> or before the inless the concentration nd in accordance ve a for containment	erma enda II be ntil p will • F c c • C r • F • S v • S r • S r • S r • S r • S r • S v • S r • S v • S r • S v • S r • S v • S v S v • S v • S v • S v • S v · S S S S S S S S S S S S S S S S S S S	anent grour ar days afte e maintaine bermanent not dislodg Permanent gro ther mulche beotextile fak einforcemen dydroseeding hrubs or oth vith mulch Uniform and o ufficient to re tructural me etaining wall colled erosion S the soils be <i>List of Appr</i> berosion ar becified in the the manuf

SECTION A: SELF-INSPECTION Self-inspections are required during normal business hours in a below. When adverse weather or site conditions would cause t personnel to be in jeopardy, the inspection may be delayed un which it is safe to perform the inspection. In addition, when a greater than 1.0 inch occurs outside of normal business hours, performed upon the commencement of the next business day. were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observation holiday periods, and no individ available, record the cumulative attended days (and this will de needed). Days on which no rainf "zero." The permittee may use approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 Identification of the measures Date and time of the inspection Name of the person performin Indication of whether the measures properly, Description of maintenance ne Description, evidence, and date
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 Identification of the discharge Date and time of the inspection Name of the person performin Evidence of indicators of storm sheen, floating or suspended se Indication of visible sediment le Description, evidence, and data
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 If visible sedimentation is found o of the following shall be made: 1. Actions taken to clean up or stather the site limits, 2. Description, evidence, and dat 3. An explanation as to the action releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increstream has visible increased turbid activity, then a record of the follow 1. Description, evidence and date 2. Records of the required report Regional Office per Part III, Second this permit.
(6) Ground stabilization measures	After each phase of grading	 The phase of grading (installati measures, clearing and grubbir drainage facilities, completion activity, construction or redeve ground cover). Documentation that the requir measures have been provided timeframe or an assurance tha soon as possible.



EPORTING		ART III RDKEEPING AND REPORTING	s	PART III ELF-INSPECTION, RECORDKEEPING AND REPORTING
accordance with the table the safety of the inspection ntil the next business day on storm event of equal to or , the self-inspection shall be y. Any time when inspections	SECTION B: RECORDKEEPING 1. E&SC Plan Documentation The approved E&SC plan as well as any appro-	oved deviation shall be kept on the site. The e throughout the coverage under this permit.		nust be reported port the following occurrences: nt deposition in a stream or wetland.
ns are made during weekend or dual-day rainfall information is rain measurement for those un- etermine if a site inspection is all occurred shall be recorded as another rain-monitoring device inspected, h, g the inspection, sures were operating eds for the measure, e of corrective actions taken. Dutfalls inspected, h, g the inspection, water pollution such as oil polids or discoloration, eaving the site, e of corrective actions taken. utside site limits, then a record abilize the sediment that has left e of corrective actions taken, and is taken to control future ased visible sedimentation or a dity from the construction wing shall be made: of corrective actions taken, and is to the appropriate Division tion C, Item (2)(a) of this permit	and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan. of ar etal (b) A phase of grading has been completed. In Pl (b) A phase of grading has been completed. In Pl (c) Ground cover is located and installed in accordance with the approved E&SC Plan. In gr (d) The maintenance and repair requirements for all E&SC Measures have been performed. In Pl (e) Corrective actions have been taken to E&SC Measures. In Pl The maintenance and repair requirements for all E&SC Measures have been performed. In Pl (e) Corrective actions have been taken to E&SC Measures. In Pl In addition to the E&SC Plan documents above site and available for agency inspectors at all tim		 They cause s They are wit (a) Releases of hat of the Clean W (Ref: 40 CFR 30) (b) Anticipated by (c) Noncompliance environment. 2. Reporting Timefran After a permittee k the appropriate Dir other requirement 	 a than 25 gallons but cannot be cleaned up within 24 h theen on surface waters (regardless of volume), or hin 100 feet of surface waters (regardless of volume). b the construction of the second of the second
on of perimeter E&SC og, installation of storm of all land-disturbing slopment, permanent ed ground stabilization within the required t they will be provided as y inspection requirement.	 the required observations on the Inspecta similar inspection form that includes a electronically-available records in lieu of shown to provide equal access and utilit (c) All data used to complete the Notice of 	previous 30 days. The permittee shall record ction Record Form provided by the Division or all the required elements. Use of f the required paper copies will be allowed if	(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above (c) Anticipated bypasses [40 CFR 122.41(m)(3)] (d) Unanticipated bypasses [40 CFR 122.41(m)(3)] (e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(l)(7)]	 determine that additional requirements are needed to a with the federal or state impaired-waters conditions. Within 24 hours, an oral or electronic notification. The shall include information about the date, time, nature, we location of the spill or release. A report at least ten days before the date of the bypas. The report shall include an evaluation of the anticipated effect of the bypass. Within 24 hours, an oral or electronic notification. Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation. Within 7 calendar days, a report that contains a descript noncompliance, and its causes; the period of noncompliance been corrected, the anticipated time noncompliance is continue; and steps taken or planned to reduce, elimina.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

case-by-case basis.

s causes; the period of noncompliance, and times, and if the noncompliance has not nticipated time noncompliance is expected to ken or planned to reduce, eliminate, and of the noncompliance. [40 CFR 122.41(l)(6). • Division staff may waive the requirement for a written report on a

ral or electronic notification. vs, a report that includes an evaluation of the ne bypass. ral or electronic notification. vs, a report that contains a description of the

lays before the date of the bypass, if possible. le an evaluation of the anticipated quality and

ral or electronic notification. The notification ion about the date, time, nature, volume and release.

l on the <u>NC 303(d) list</u> as impaired for sedimentrmittee may be required to perform additional ns or apply more stringent practices if staff onal requirements are needed to assure compliance te impaired-waters conditions.

vs, a report that contains a description of the taken to address the cause of the deposition. ve the requirement for a written report on a

After Discovery) and Other Requirements ral or electronic notification.

currence that must be reported, he shall contact hin the timeframes and in accordance with the ices outside normal business hours may also be onse personnel at (800) 662-7956, (800)

this permit that may endanger health or the

cess of reportable quantities under Section 311 0.3 and 40 CFR 117.3) or Section 102 of CERCLA

(regardless of volume), or vaters (regardless of volume).

not be cleaned up within 24 hours,

ART I

EFFECTIVE: 04/01/19

Do not store hazardous chemicals, drums or bagged materials directly on the ground

Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water

Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of

.. Store and apply herbicides, pesticides and rodenticides in accordance with label

in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance

Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary

Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the Install at least one sign directing concrete trucks to the washout within the project

Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive

Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must

Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two

2. Dispose of, or recycle settled, hardened concrete residue in accordance with local Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within

ABOVE GRADE WASHOUT STRUCTURE

1. ACTUAL LOCATION DETERMINED IN CONCRETE OTING DEVICE (18"X24" MIN.) THE CONCRETE WASHOUT STRUCTURE HALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY TO PROVIDE ADEQUATE HOLDING CAPACITY WITH MINIMUM 12 INCHES OF FREEBOARD. 3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNAGE NOTING DEVICE. PLAN

> WILLMINGTON NORTH CAROLINA APPROVED STORMWATER MANAGEMENT PLAN Permit #

> > <u>Name</u>

Signed

For each open utility cut of Approved Construction Plan <u>Date</u>

City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERM WATER CAPAC **DWQ SEWER PERM** SEWER CAPAC SEWER SHED # AND PL SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Know what's **below. Call before you dig.**

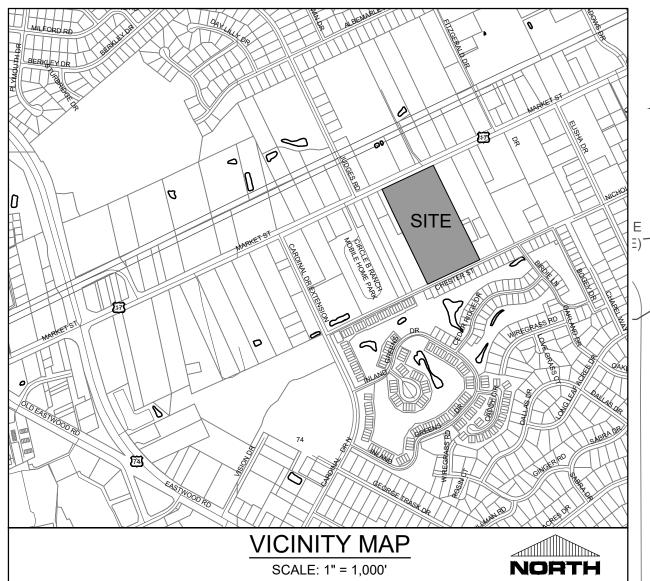
/IT #:	
CITY:	GPD
/IT #:	
CITY:	GPD
.ANT:	

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CHECKPOINT NO. 2 XF1 SALES EXPANSION

NOT RELEASED FOR CONSTRUCTION			
		DA21-038/ PC21-02	21
		RPB	
		RPB	
REV#	DATE	DESCRIPTION	BY
	17 NOV 21	CHECKPOINT #1	
	01 DEC 21	CHECKPOINT #2	
	15 DEC 21	100% DISTRIBUTION	

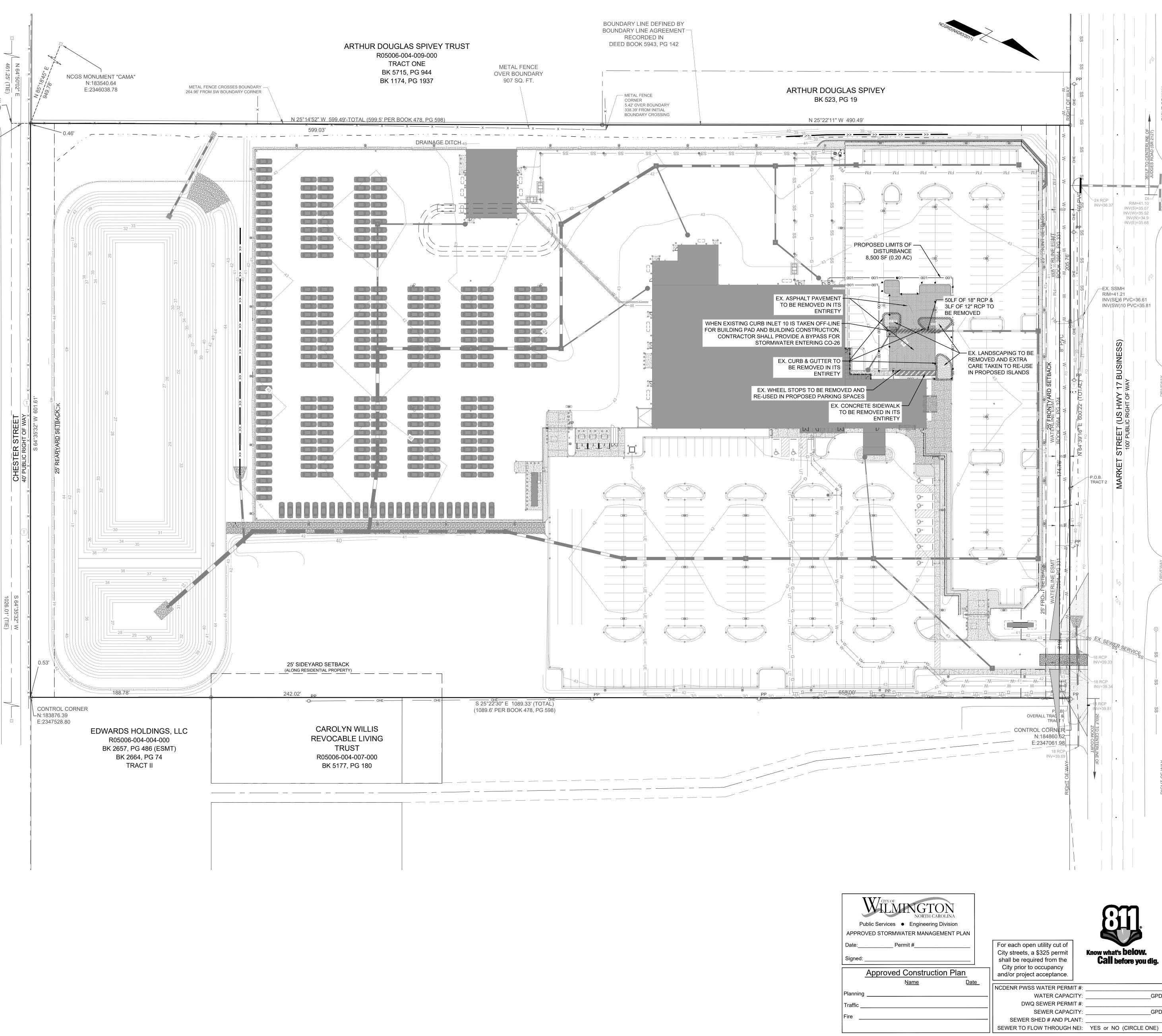




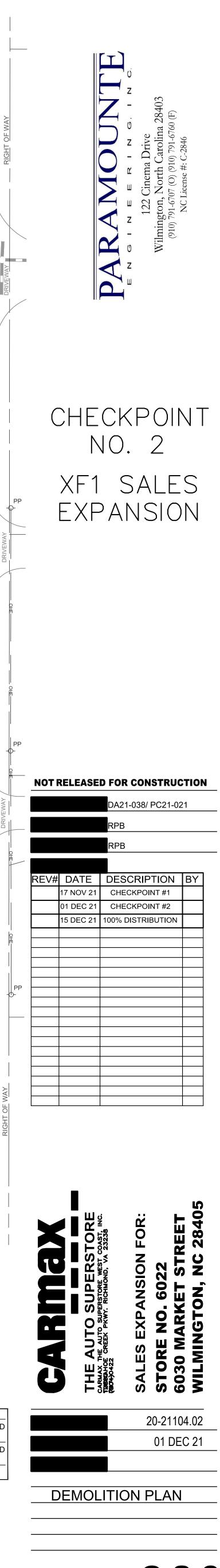
DEMOLITION NOTES:

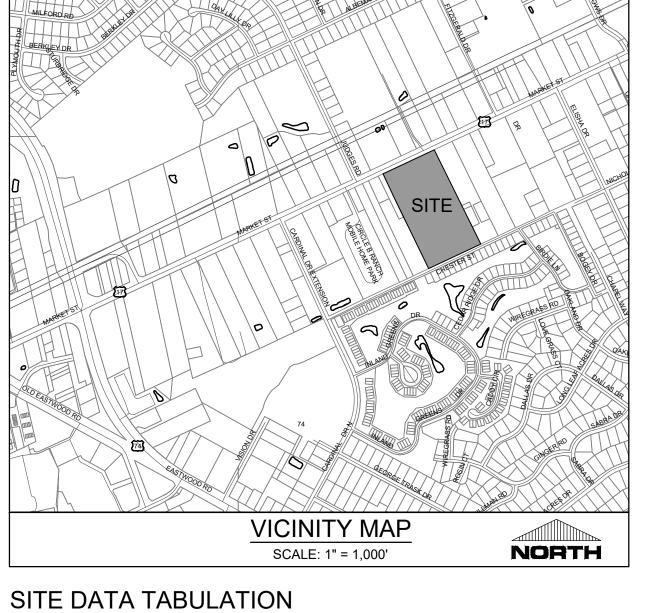
- 1.) CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
- 2.) CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS FOR SPECIFIC TREE REMOVAL
- 3.) CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO MARKET STREET WITHOUT THE WRITTEN PERMISSION OF NCDOT.
- 4.) ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS RULES AND REGULATIONS.
- 5.) CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY OWNER/PROVIDER FOR DEMOLITION.

SYMBOLS LEGEND		
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND		
	EXISTING ASPHALT TO BE REMOVED	
××××××××	EXISTING CONC. CURB TO BE REMOVED	
	EXISTING CONCRETE TO BE REMOVED	
	EXISTING GRAVEL TO BE REMOVED	
+++++++++++++++++++++++++++++++++++++++	EXISTING UTILITY LINE TO BE REMOVED	
9.0009770000 9 .000	EXISTING STORM SEWER LINE TO BE REMOVED	
	EXISTING STORM STRUCTURE TO BE REMOVED	
	EXISTING SIGN/LIGHT/UTILITY POLE TO BE REMOVED	
╧╤╤╤ <mark>╳╤╤╤</mark>	EXISTING FENCE TO BE REMOVED	
	TREE PROTECTION FENCING	



GRAPHIC SCALE **C-2.0** SCALE: 1"=40' PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION





CARMAX OF WILMINGTON

R05000-002-010-000 (13.83 AC) - LOT 1

R05000-002-004-001 (1.20 AC) - LOT 2

BK 2664, PG 331 (ESMT) - LOT 1

BK 2664, PG 324 (ESMT) - LOT 2

AUTOMOBILE DEALER - USED

661.5 FT. (SOUTH) 25 FT.

655,055 SF (15.03 AC) 43,560 SF (1 AC)

REQUIRED

100' MIN.

40% MAX.

25 FT.

0 FT.

0 FT.

6030 MARKET STREET

WILMINGTON, NC 28403

BK 1783, PG 1251 - LOT 1

BK 1425, PG 1328 - LOT 2

15.038 ACRES (655,055 SF)

RB - REGIONAL BUSINESS

URBAN

UNDEVELOPED

PROVIDED

602.47'

6.70%

41,583 SF

384,050 SF

4,350 SF

4,900 SF

4,267 SF

4,263 SF

2,316 SF

338 SF

1,050 SF

4,826 SF

IIB

2,316 SF

28'-0"

83

125 SPACES

SPACES

SPACES

9 SPACES

9 SPACES

15 SPACES

15 SPACES

8,530 SF (0.20 AC)

6.70% (TOTAL = EXISTING + PROPOSED)

125 CUSTOMER/EMPLOYEE PARKING

290 SALES DISPLAY/INVENTORY AREA

430,620 SF

434,883 SF (9.98 AC)

434,883 / 655,055 SF = 67.0%

150.5 FT. (NORTH)

254.5 FT. (EAST)

125.7 FT. (WEST)

35'

OWNER: PROJECT ADDRESS:

TAX PARCEL IDENTIFICATION #

RECORDED DEED BOOK:

TOTAL SITE AREA: CURRENT ZONING: CAMA LAND USE CLASSIFICATION: MAXIMUM ALLOWABLE BUILDING HEIGHT: EXISTING LAND USE: PROPOSED LAND USE:

SETBACK STANDARD MINIMUM FRONT SETBACK MINIMUM SIDE SETBACK MINIMUM SIDE SETBACK MINIMUM REAR SETBACK

SITE INFORMATION LOT AREA

LOT WIDTH LOT COVERAGE

EXISTING IMPERVIOUS AREA TOTAL BUILDING (PROPOSED FOOTPRINT) **ON-SITE PARKING & DRIVEWAYS** GRAVEL DRIVE ON-SITE SIDEWALKS FUTURE IMPERVIOUS TOTAL EX. & FUTURE IMP. AREA

EXISTING PERCENT IMPERVIOUS

EXISTING IMPERVIOUS TO BE REMOVED: **EXISTING IMPERVIOUS TO REMAIN:**

PROPOSED IMPERVIOUS AREA TOTAL BUILDING (PROPOSED FOOTPRINT) **ON-SITE PARKING & DRIVEWAYS** ON-SITE SIDEWALKS FUTURE DEVELOPMENT TOTAL PROPOSED IMP. AREA

BUILDING INFORMATION CONSTRUCTION TYPE: NUMBER OF PROPOSED BUILDINGS PROPOSED BUILDING SF

OVERALL HEIGHT LOT COVERAGE

SITE PARKING MINIMUM PARKING REQUIRED: (1 PER 500 SF GFA)

MAXIMUM PARKING ALLOWABLE: TOTAL PARKING PROVIDED:

HANDICAP PARKING REQUIRED:

HANDICAP PARKING PROVIDED:

BICYCLE PARKING REQUIRED: BICYCLE PARKING PROVIDED:

FLOOD NOTE

THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

GENERAL NOTES

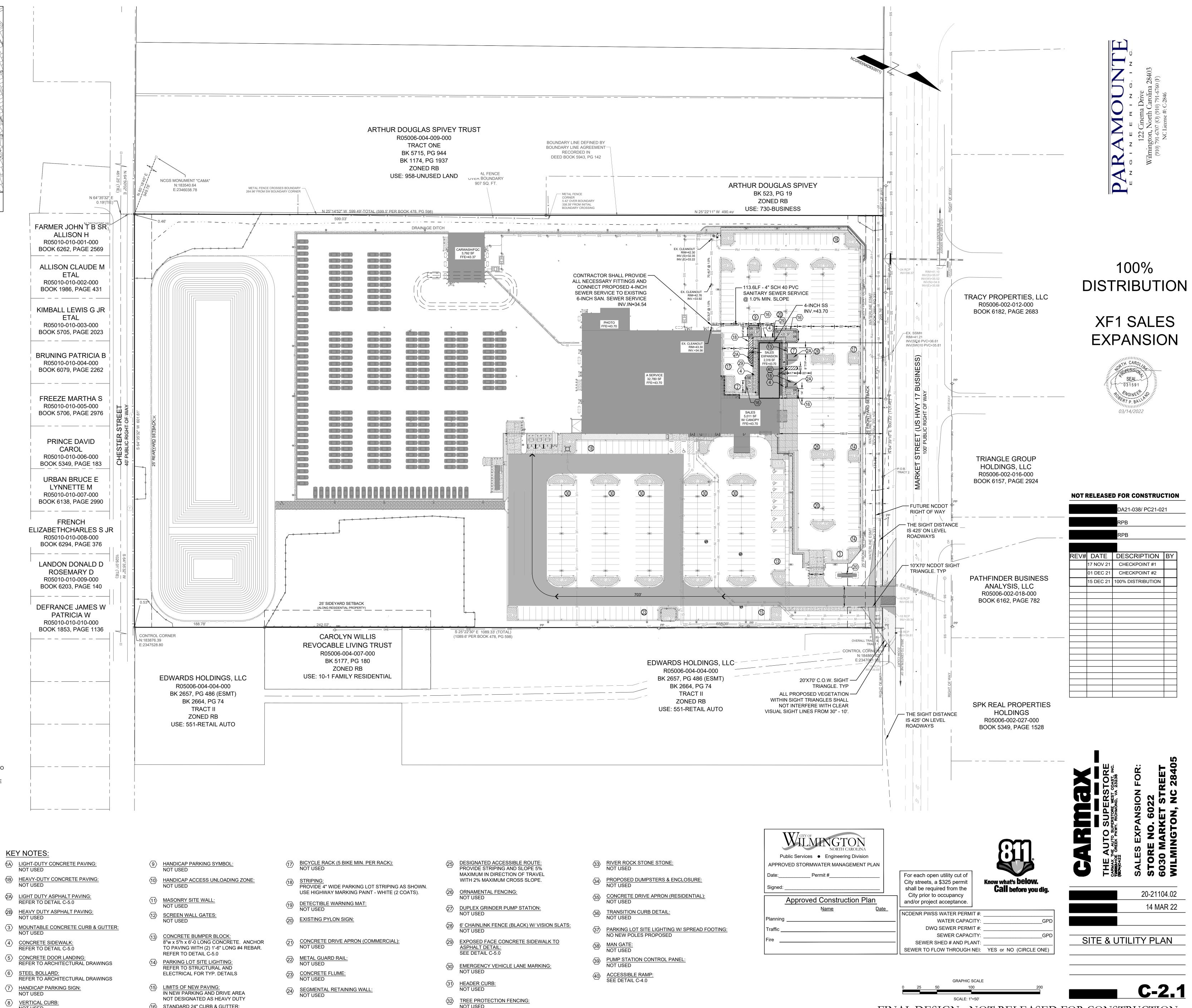
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/ OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD
- STANDARDS. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.

TRIP GENERATION - BUILDING ADDITION ITE CODE 841 - NEW CAR SALES DAILY TRIPS: AM PEAK HOUR:

PM PEAK HOUR:

FIRE & SAFETY NOTES: 1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL

- TIMES DURING CONSTRUCTION
- 2. LANDSCAPE OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S. 3. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT



KEY NOTES:

	NOT USED
(1B)	HEAVY-DUTY CONCRETE PAVING:

- A LIGHT DUTY ASPHALT PAVING:
- NOT USED
- REFER TO DETAIL C-5.0
- REFER TO ARCHITECTURAL DRAWINGS

- (8) <u>VERTICAL CURB:</u> NOT USED

- (16) STANDARD 24" CURB & GUTTER: REFER TO DETAIL C-5.0

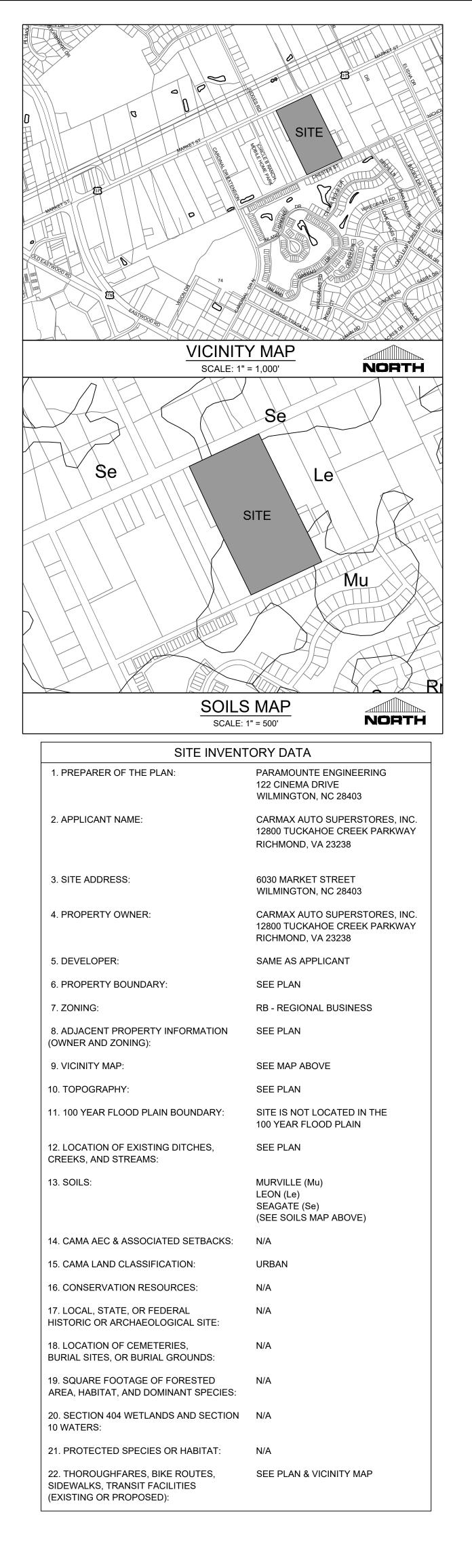
Р	PA	RKI	NG	SY	MBC)L:

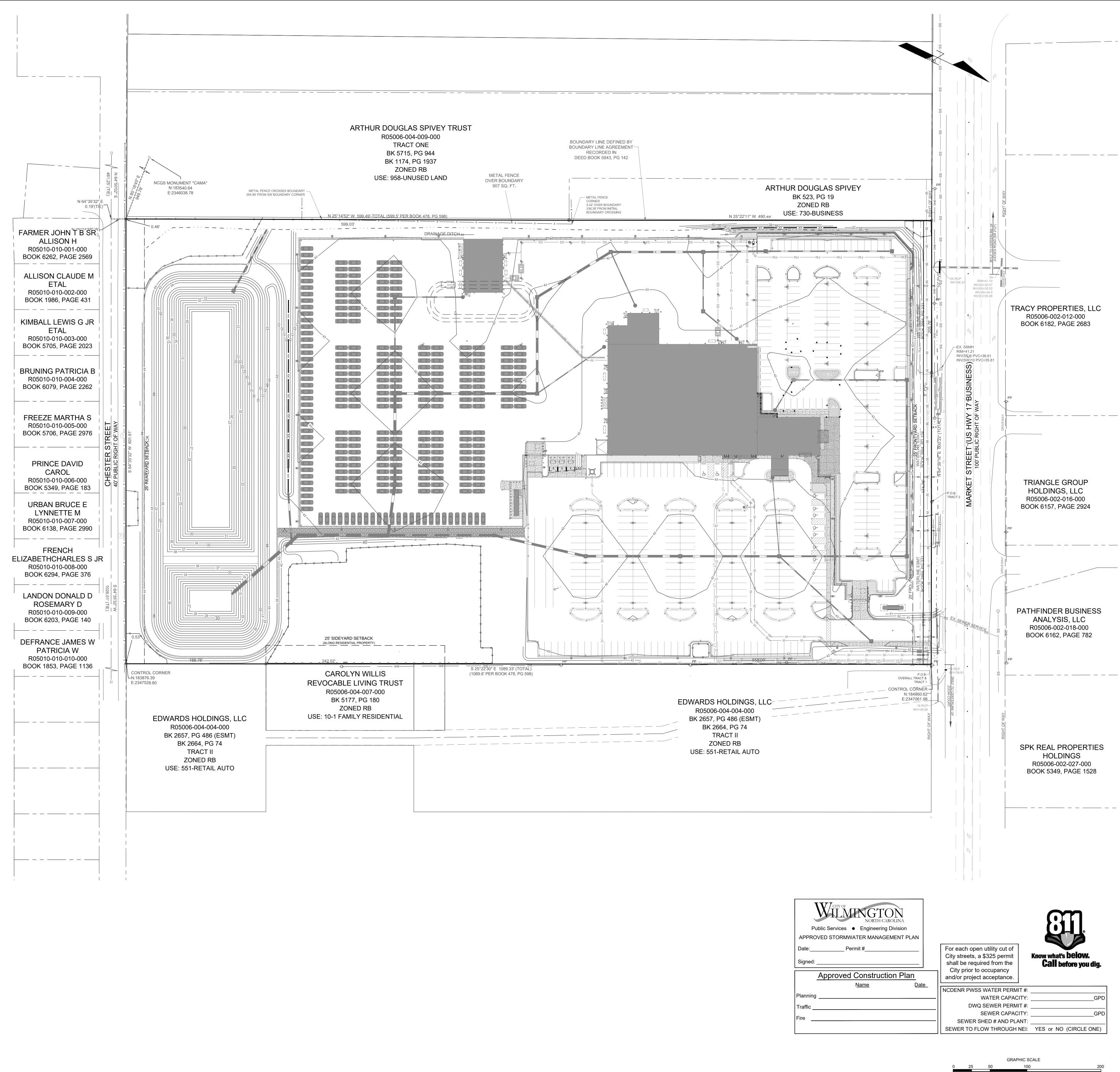
- 32 TREE PROTECTION FENCING: NOT USED





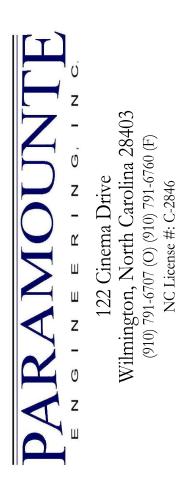
NOT RELEASED FOR CONSTRUCTION				
		DA21-038/ PC21-02	21	
		RPB		
		RPB		
REV#	DATE	DESCRIPTION	BY	
	17 NOV 21	CHECKPOINT #1		
	01 DEC 21	CHECKPOINT #2		
	15 DEC 21	100% DISTRIBUTION		





PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

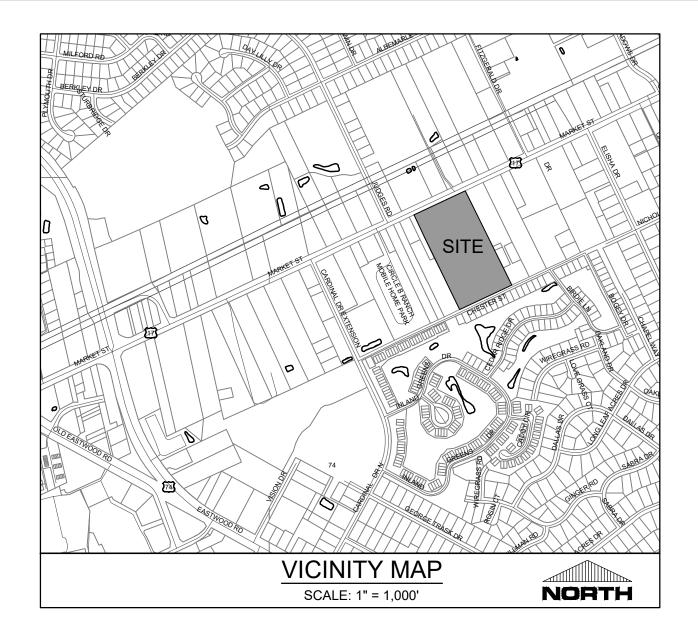
SCALE: 1"=50'



CHECKPOINT NO. 2 XF1 SALES EXPANSION

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	DA21-038/ PC21-021							
		RPB						
		RPB						
REV#	DATE	DESCRIPTION	BY					
	17 NOV 21	CHECKPOINT #1						
	01 DEC 21	CHECKPOINT #2						
	15 DEC 21	100% DISTRIBUTION						





GRADING NOTES

- .) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- 2.) SEE TABLE BELOW FOR STORM PIPE SCHEDULE
- 3.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

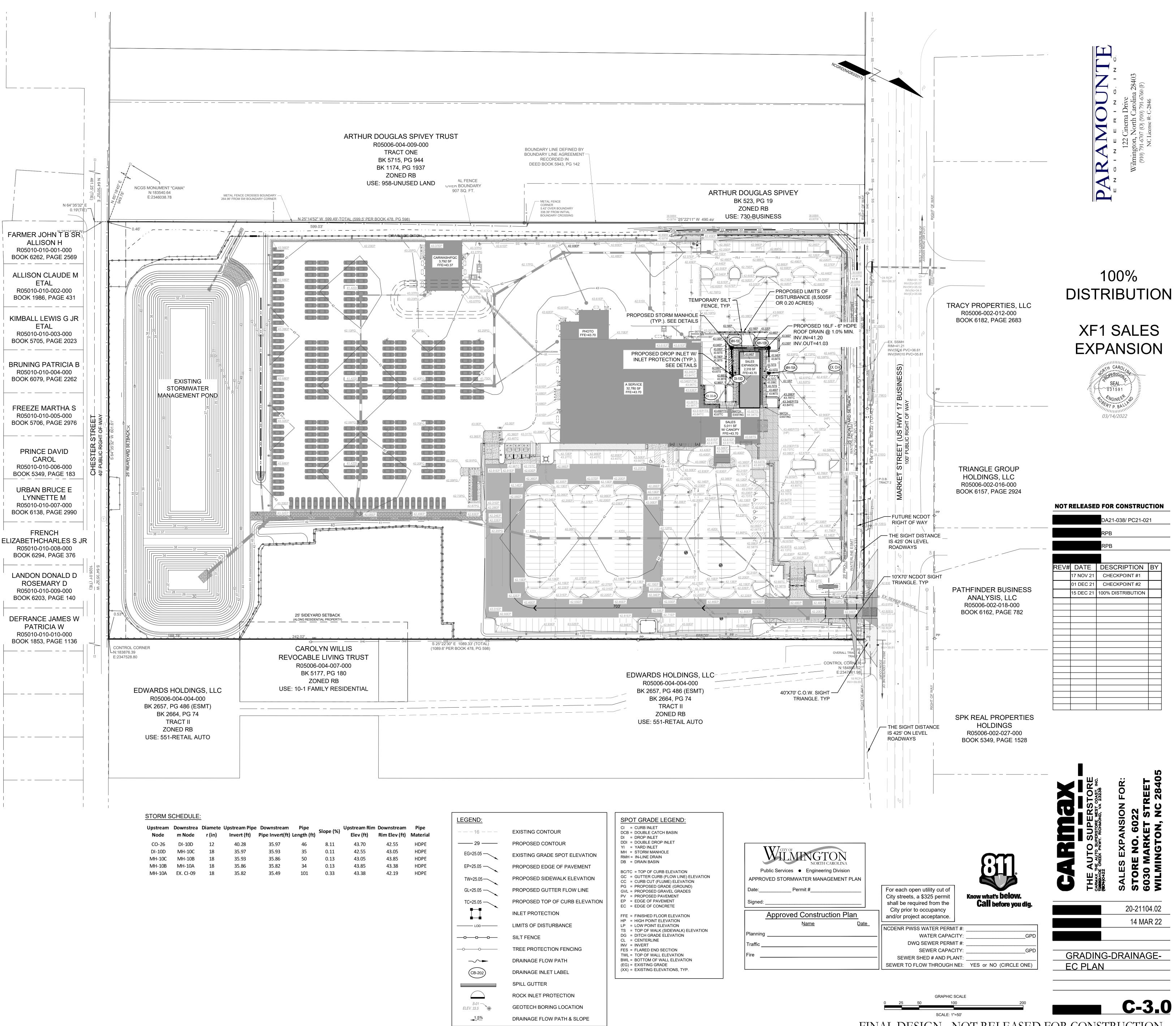
ASPHALT AREA NOT

SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOT

SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

- DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES AS PERMITTED WITH THE STATE AND LOCAL MUNICIPALITY
- 2.) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
- 3.) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- 4.) ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
- 5.) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1/2 INCH BELOW EOP.
- 6.) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- 7.) PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM. SEE CIVIL OR ARCHITECTURAL DETAILS FOR DOWNSPOUT DETAILS AND CONNECTIONS.
- 8.) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE TO REMAIN TO MATCH PROPOSED GRADES.
- 9.) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR WATERTIGHT HDPE PIPE). EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.
- 10.) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE PROPOSED BUILDING INCLUDING FINISHED FLOOR ELEVATION AND STORMWATER COLLECTION SYSTEM TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED, THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.

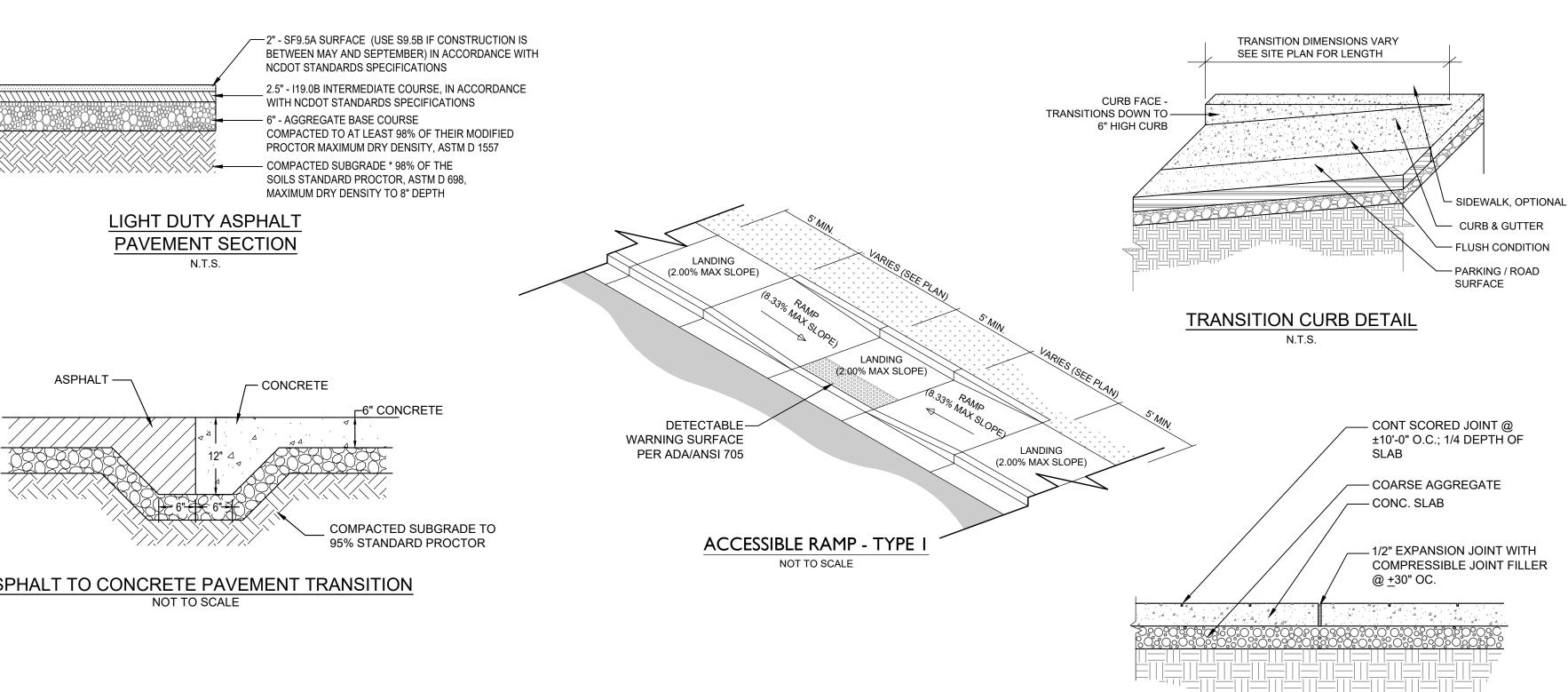


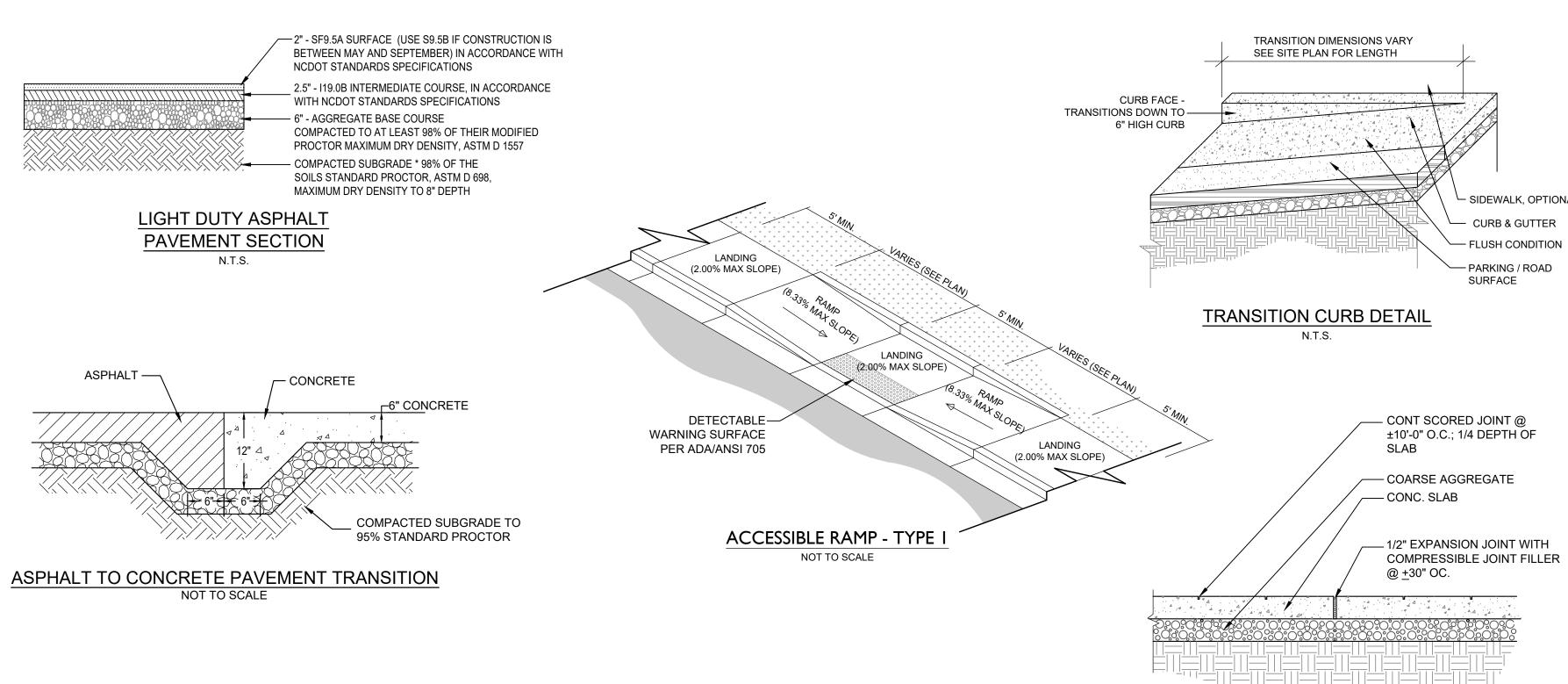
ream ode	Downstrea m Node	Diamete r (in)	Upstream Pipe Invert (ft)	Downstream Pipe Invert(ft)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)	Downstream Rim Elev (ft)	Pipe Material	
)-26	DI-10D	12	40.28	35.97	46	8.11	43.70	42.55	HDPE	
10D	MH-10C	18	35.97	35.93	35	0.11	42.55	43.05	HDPE	
-10C	MH-10B	18	35.93	35.86	50	0.13	43.05	43.85	HDPE	
-10B	MH-10A	18	35.86	35.82	34	0.13	43.85	43.38	HDPE	
-10A	EX. CI-09	18	35.82	35.49	101	0.33	43.38	42.19	HDPE	

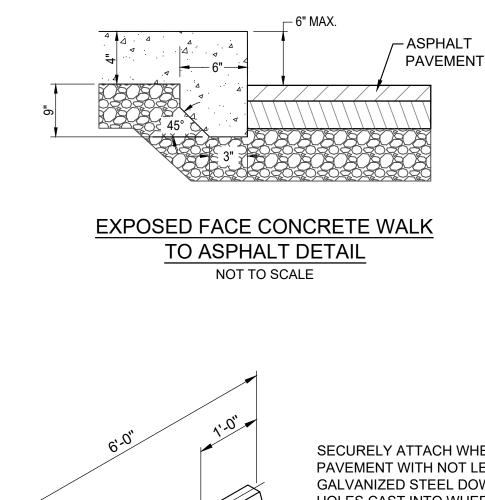


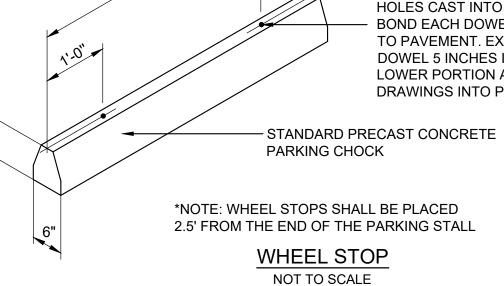


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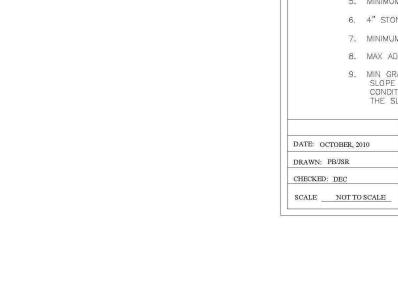


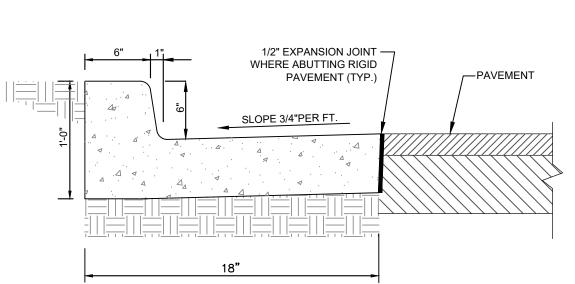


-ASPHALT

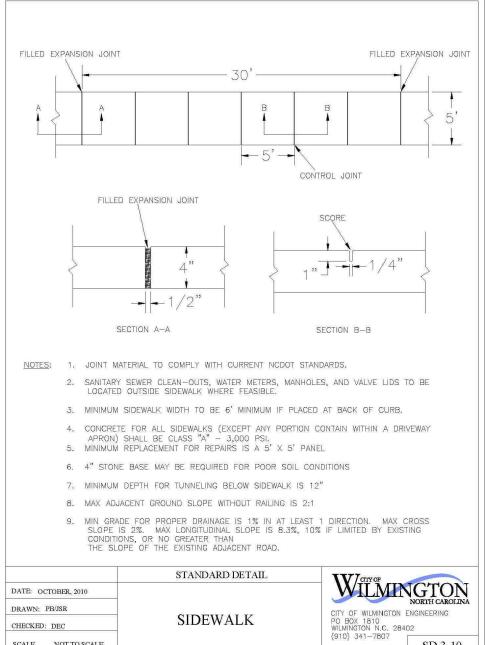
SECURELY ATTACH WHEEL STOPS INTO PAVEMENT WITH NOT LESS THAN TWO GALVANIZED STEEL DOWELS EMBEDDED IN HOLES CAST INTO WHEEL STOPS. FIRMLY BOND EACH DOWEL TO WHEEL STOP AND TO PAVEMENT. EXTEND UPPER PORTION OF DOWEL 5 INCHES INTO WHEEL STOP AND LOWER PORTION AS NOTED ON THE DRAWINGS INTO PAVEMENT

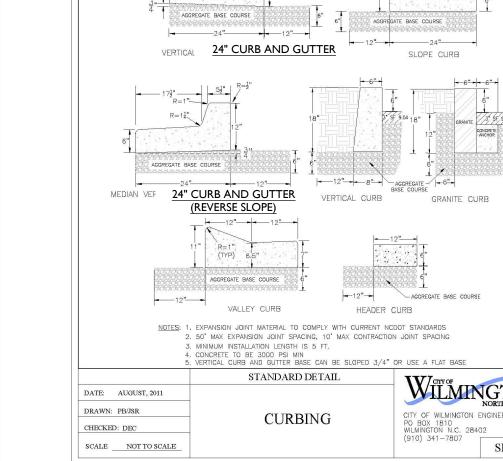
FILLED EXPANSION JOINT



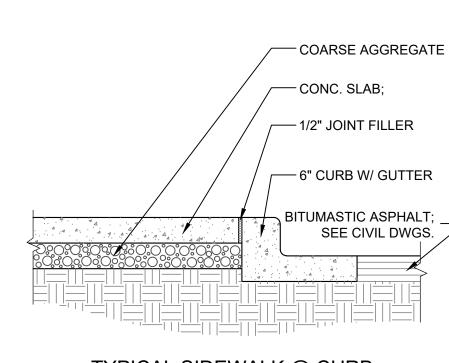


1. FOR SPILL CURB SLOPE 3/4" PER FOOT AWAY FROM THE FACE OF CURB. 2. CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI. 3. USE CURB SPECIFIED BY LOCAL GOVERNING AUTHORITY IN PUBLIC R/W. STANDARD CONCRETE CURB & GUTTER N.T.S.





SD 3-10



OBLIQUE VIEW VERTICAL CURB AND GUTTER

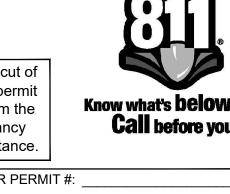
- 17<u>1</u>" - 5<u>1</u>"

R=1* R=1¹/₄

TYPICAL SIDEWALK @ CURB N.T.S.

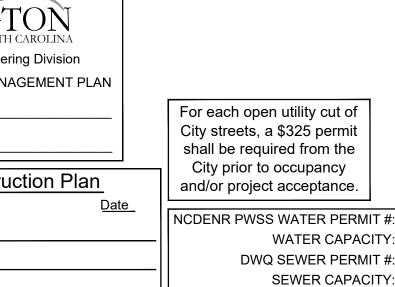
N.T.S.

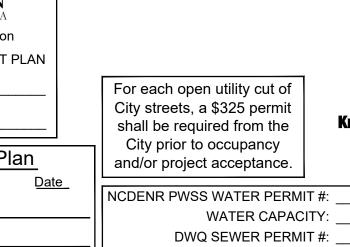
Permit # Approved Construction Plan	For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.	Know what's below. Call before you dig.
Name Date		
	NCDENR PWSS WATER PERMIT #:	
ng	WATER CAPACITY:	GPD
	DWQ SEWER PERMIT #:	
	SEWER CAPACITY:	GPD
	SEWER SHED # AND PLANT:	
	SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

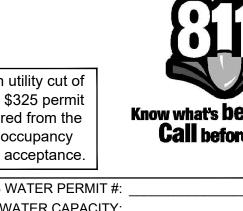


	Know what's Delow. Call before you dig					
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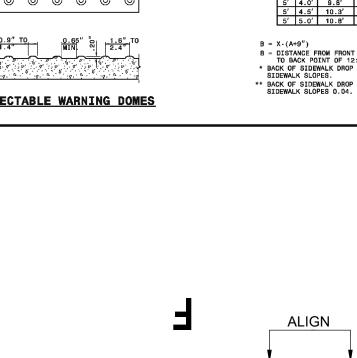
Public Services • Engineering Division		
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Approved Construction Plan		City and/o
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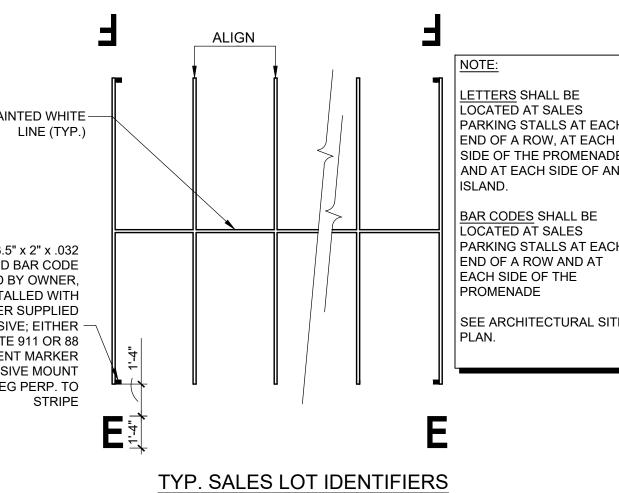






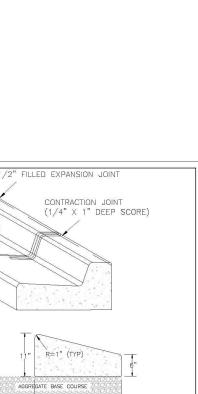






NOT TO SCALE



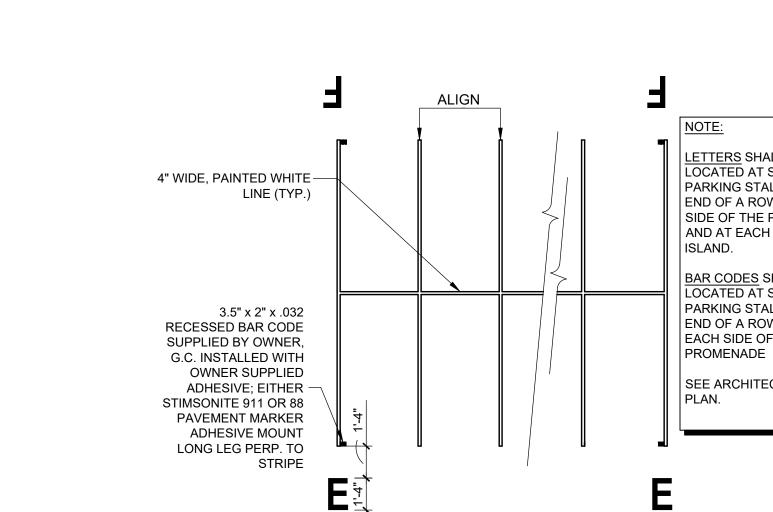


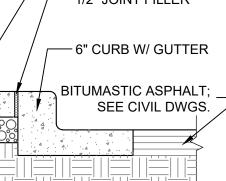
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WILLMINGTON NORTH CAROLINA

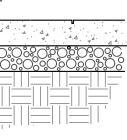
CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807 SD 3-11

HEADER CURB



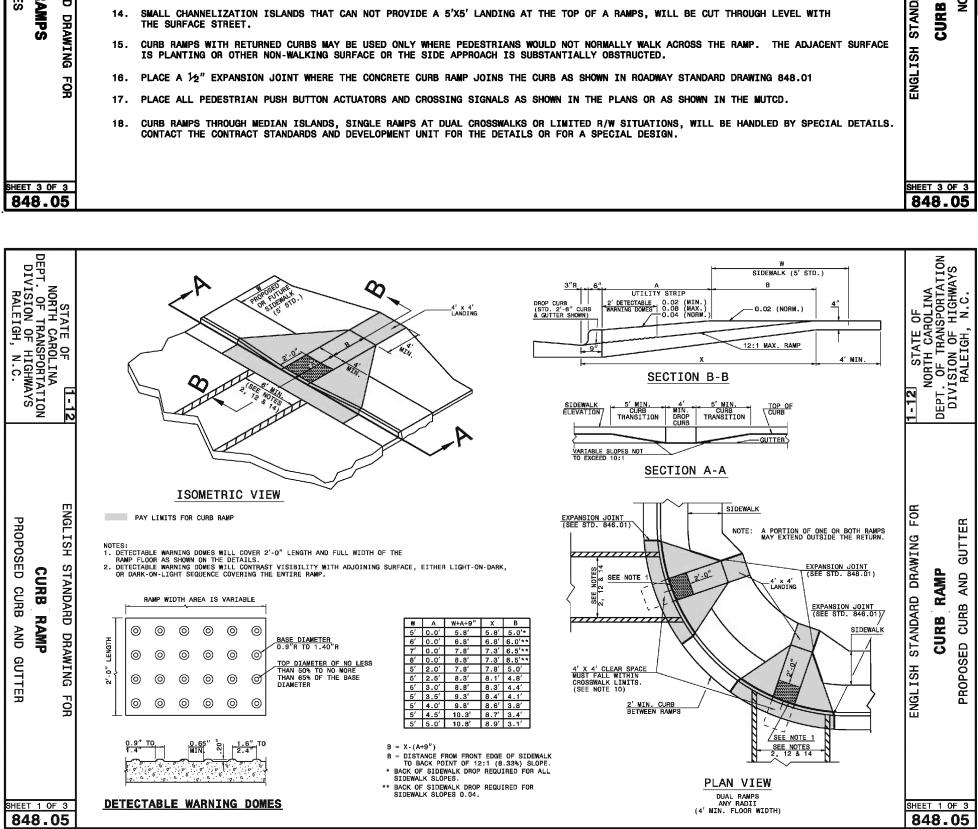






NOTES:

NORTH CAROLINA . OF TRANSPORTATION VISION OF HIGHWAYS RALEIGH, N.C.



1. CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.

3. COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.

5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.

CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A

12. CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGHT THE ISLAND.

4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.

6. TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.

9. ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.

10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.

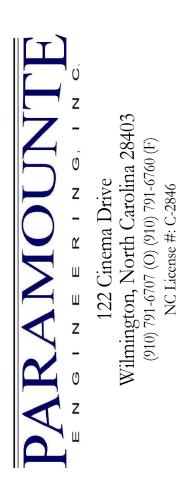
7. CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.

SMOOTH TRANSITIO

8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.

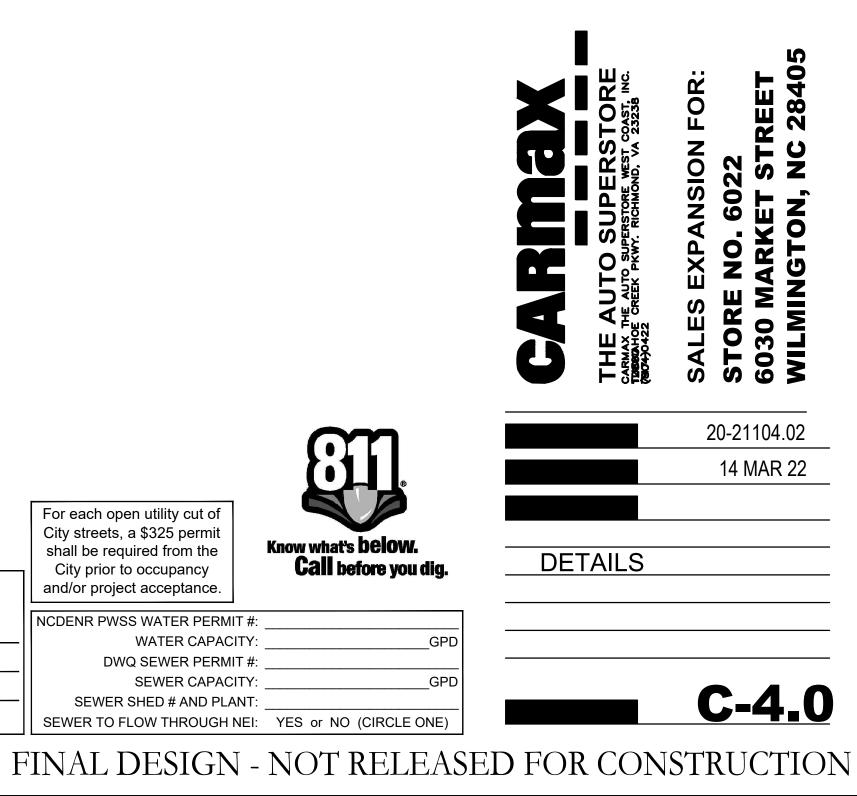
LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.

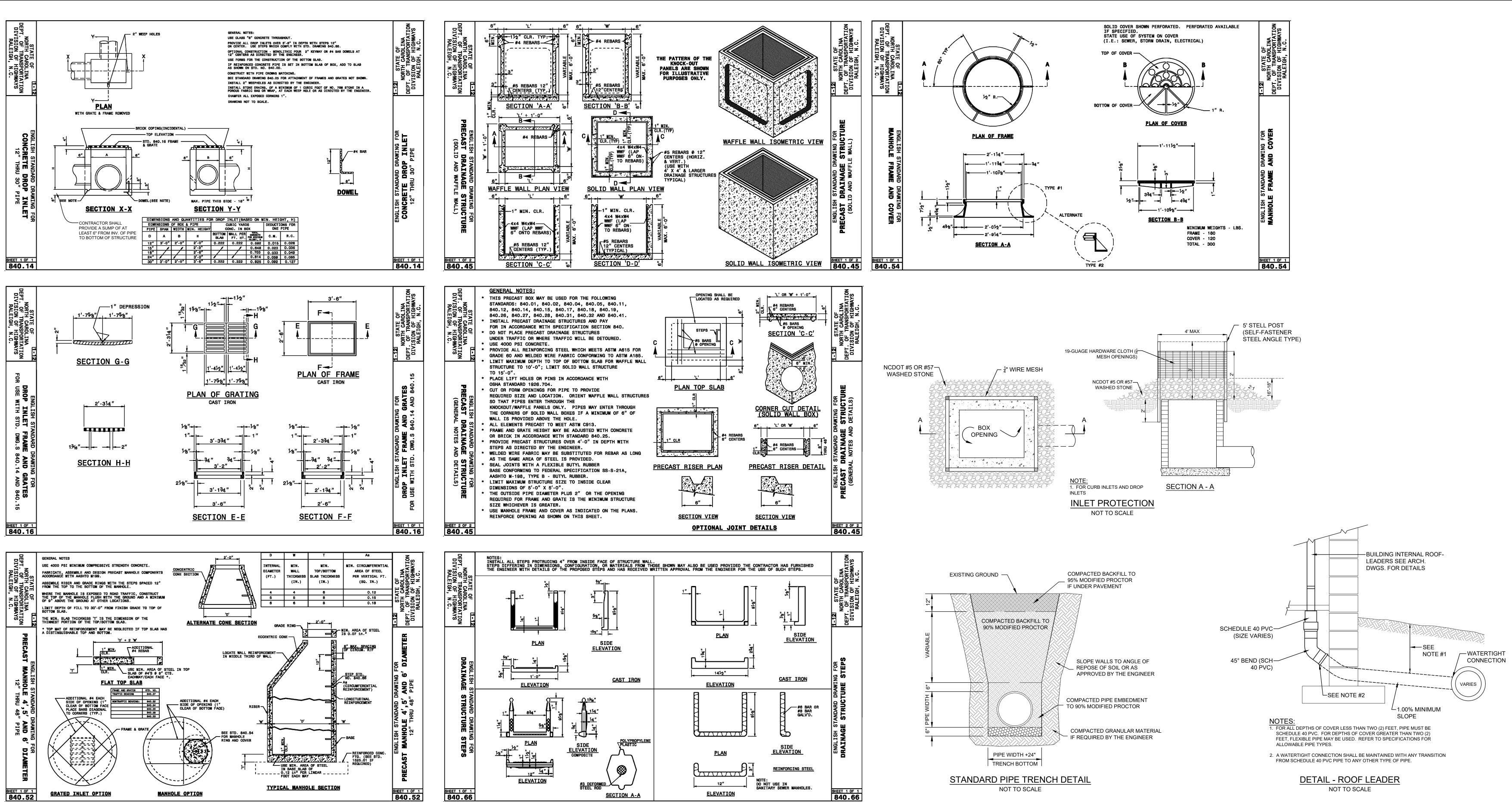
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ΝΟΤΙ	RELEASE	D FOR CONSTRUC	TION
		DA21-038/ PC21-02	21
		RPB	
		RPB	
REV#	DATE	DESCRIPTION	BY
	17 NOV 21	CHECKPOINT #1	
	01 DEC 21	CHECKPOINT #2	
	15 DEC 21	100% DISTRIBUTION	
			





Villing of North Carolina Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN Date: Permit # Signed:	For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.	Know what's below. Call before you dig
Approved Construction Plan	NCDENR PWSS WATER PERMIT #:	
<u>Name</u> <u>Date</u>	WATER CAPACITY:	GPD
	DWQ SEWER PERMIT #:	
Planning	- SEWER CAPACITY:	GPD
Traffic	SEWER SHED # AND PLANT:	
Fire	SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)
	-	

CHECKPOINT NO. 2 XF1 SALES EXPANSION

ΝΟΤΙ	RELEASE	D FOR CONSTRUC	TION
		DA21-038/ PC21-02	21
		RPB	
		RPB	
REV#	DATE	DESCRIPTION	BY
	17 NOV 21	CHECKPOINT #1	
	01 DEC 21	CHECKPOINT #2	
	15 DEC 21	100% DISTRIBUTION	
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FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

